

# ALTERATION for William Halstead Pharmacy Apartments

60-62 Vineyard Avenue Highland, New York  
Town of Lloyd

ALTERATION  
FOR

WILLIAM HALSTEAD  
PHARMACY APARTMENTS

60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK

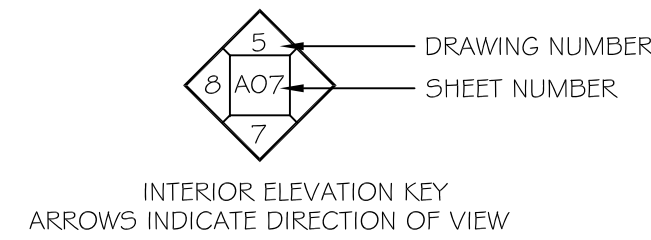
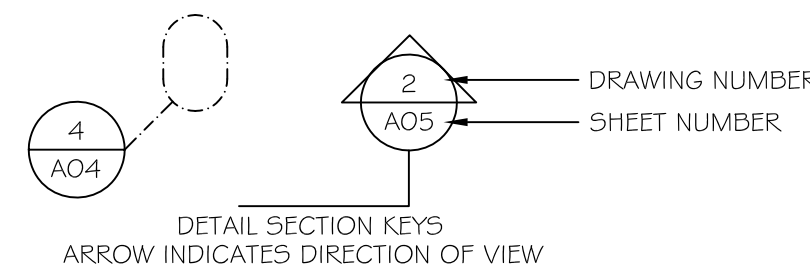
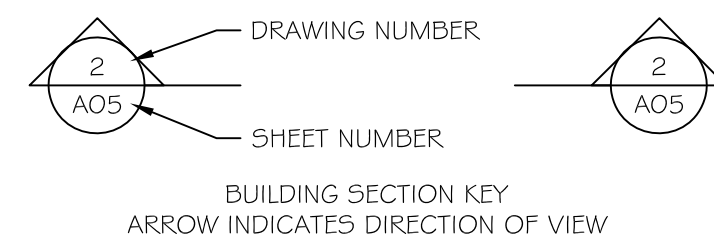
TOWN OF LLOYD

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER  
INFORMATION INCLUDED IN THESE DOCUMENTS  
IF THESE PLANS HAVE BEEN AFFIXED  
WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION #	DATE	DESCRIPTION
1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - A02

## ABBREVIATIONS & SYMBOLS

A.F.F.	ABOVE FINISH FLOOR
ALUM	ALUMINUM
AMP	AMPERE
APPROX.	APPROXIMATELY
APT.	APARTMENT
C.H.	CEILING HEIGHT
C.I.P.	CAST IN PLACE
CL.	CLOSET
CNU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CT	CERAMIC TILE
DF	DOUGLAS FIR
DN	DOWN
D.W.	DISHWASHER
ELEC	ELECTRIC / ELECTRICAL
ELEV	ELEVATION
EQ.	EQUAL
EXG	EXISTING
FL	FLOOR
FT	FEET
GALV.	GALVANIZED
GWB	GYPNUM WALL BOARD - SHEETROCK
HB	HOSE BIB - FROST FREE
HM	HOLLOW METAL
INSUL	INSULATION
INT. ELEV.	INTERIOR ELEVATION
LVL	LAMINATED VENEER LUMBER
MARB	MARBLE
MAT.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MIL	MILLIMETER
MIN.	MINIMUM
MR.GWB	MOISTURE RESISTANT GYPNUM WALL BOARD
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OSB	ORIENTED STRAND BOARD
PLY	PLYWOOD
POLY	POLYURETHANE
P.O.S.	POINT OF SUPPORT
PREP	PREPARE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
REQ.	REQUIRED
REV.	REVISION
R.O.B.	RUN OF BANK
SF	SQUARE FEET
SFP	SPRUCE-PINE-FIR
S.S.	STAINLESS STEEL
SUB FL.	SUB-FLOOR
TBD	TO BE DETERMINED
T&G	TONGUE & GROOVE
THRU	THROUGH
TYP	TYPICAL
VCB	VINYL COVE BASE
VSF	VINYL SHEET FLOORING
V.I.F.	VERIFY IN FIELD
W	WITH
WD	WOOD
W.W.M.	WOVEN WIRE MESH



## GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION NOT SPECIFICALLY ADDRESSED IN THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH THE MINIMUM STANDARDS OF THE BUILDING CODE OF NEW YORK STATE, THE NYS ENERGY CONSERVATION CODE, THE TOWN OF LLOYD, THE ULSTER COUNTY DEPARTMENT OF HEALTH AND THE NYS BOARD OF FIRE UNDERWRITERS.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL DEMOLITION & CONSTRUCTION DEBRIS.

## ENERGY CONSERVATION CONSTRUCTION CODE

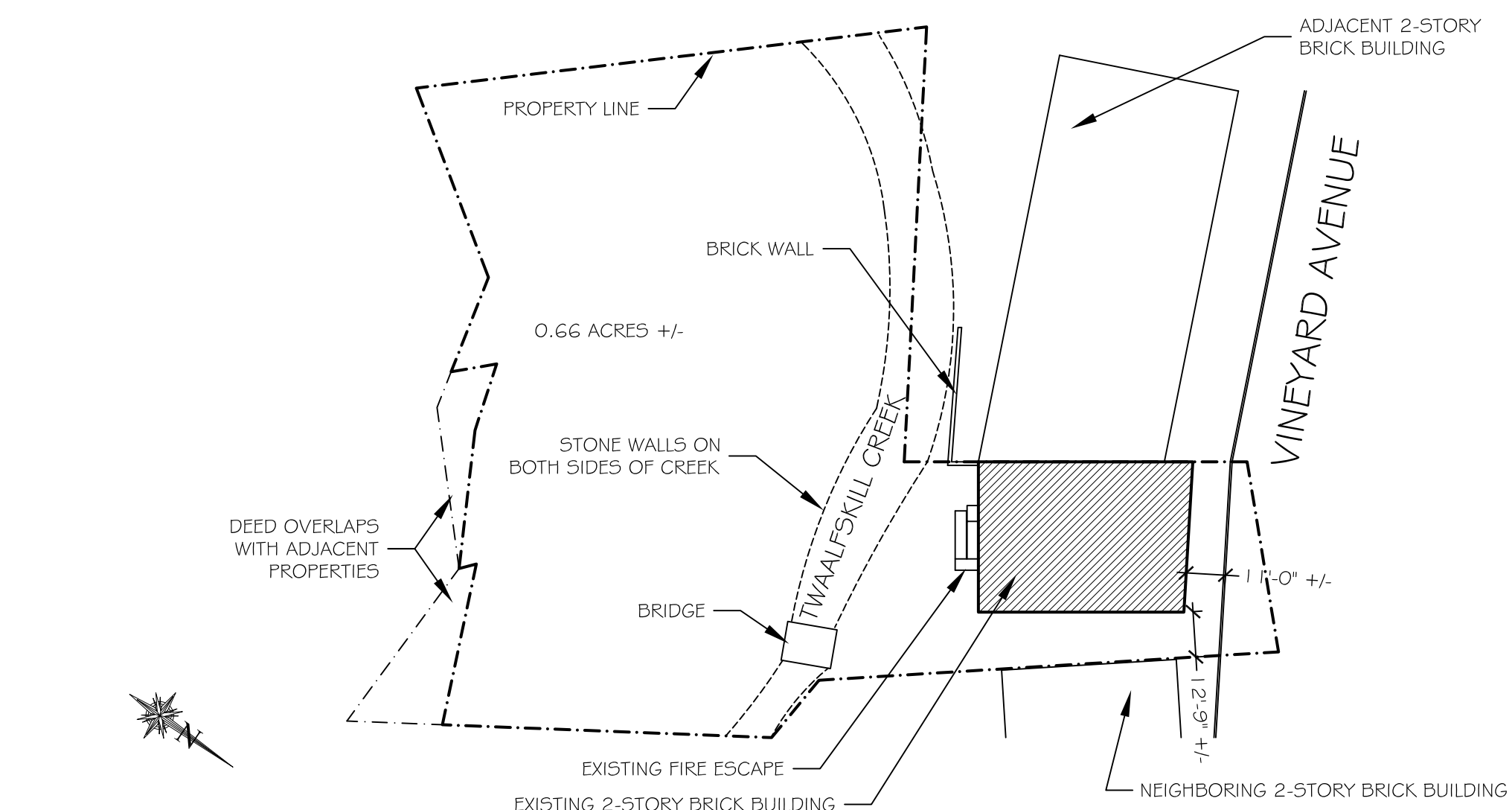
THE ALTERATION DESCRIBED IN THESE DRAWINGS COMPLIES WITH ALL APPLICABLE REQUIREMENTS OF THE 2007 ENERGY CONSERVATION CONSTRUCTION CODE CHAPTER 4 FOR RESIDENTIAL ENERGY EFFICIENCY AS SPECIFIED IN TABLE 402.1(1) INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT & TABLE 402.1.2 EQUIVALENT U-FACTORS FOR CLIMATE ZONE 6 AS MODIFIED BY SECTION 402.2.1 CEILINGS WITH ATTIC SPACES & SECTION 101.4.2 EXISTING BUILDINGS.

FENESTRATION	REQUIRED U-FACTOR = 0.35 MAX.	ACTUAL EXISTING INSULATED VINYL REPLACEMENT WINDOWS & NEW DOOR WITH U= 0.26
CEILING	U-FACTOR = 0.026 MAX. OR R-38	R-76
FRAME WALL	U-FACTOR = 0.060 MAX. OR R-21	R-21

## DRAWING LIST

- T01 TITLE SHEET
- D01 DEMOLITION SECOND FLOOR PLAN
- A01 FIRST FLOOR PLAN
- A02 SECOND FLOOR PLAN
- A03 ELEVATIONS
- A04 ELEVATION & BUILDING SECTION
- A05 SCHEDULES, DETAILS & INTERIOR ELEVATIONS
- P01 PLUMBING RISER DIAGRAMS
- E01 FIRST FLOOR ELECTRICAL PLAN
- E02 SECOND FLOOR ELECTRICAL PLAN
- E03 BASEMENT & SUB-BASEMENT ELECTRICAL PLANS

## SITE PLAN



1 SITE PLAN  
SCALE: 1" = 40'

THIS SITE PLAN IS SCHEMATIC IN NATURE AND IS NOT INTENDED FOR USE AS A FORMAL SURVEY.

**BOLDER  
DESIGN / BUILD  
L.L.C.**

DAVID TODER  
ARCHITECT / CRAFTSMAN

298 Phareah Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

PROJECT # 07-26

DATE: 3/28/08

**T01**

TITLE SHEET

ALTERATION  
FOR

WILLIAM HALSTEAD  
PHARMACY APARTMENTS

60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK

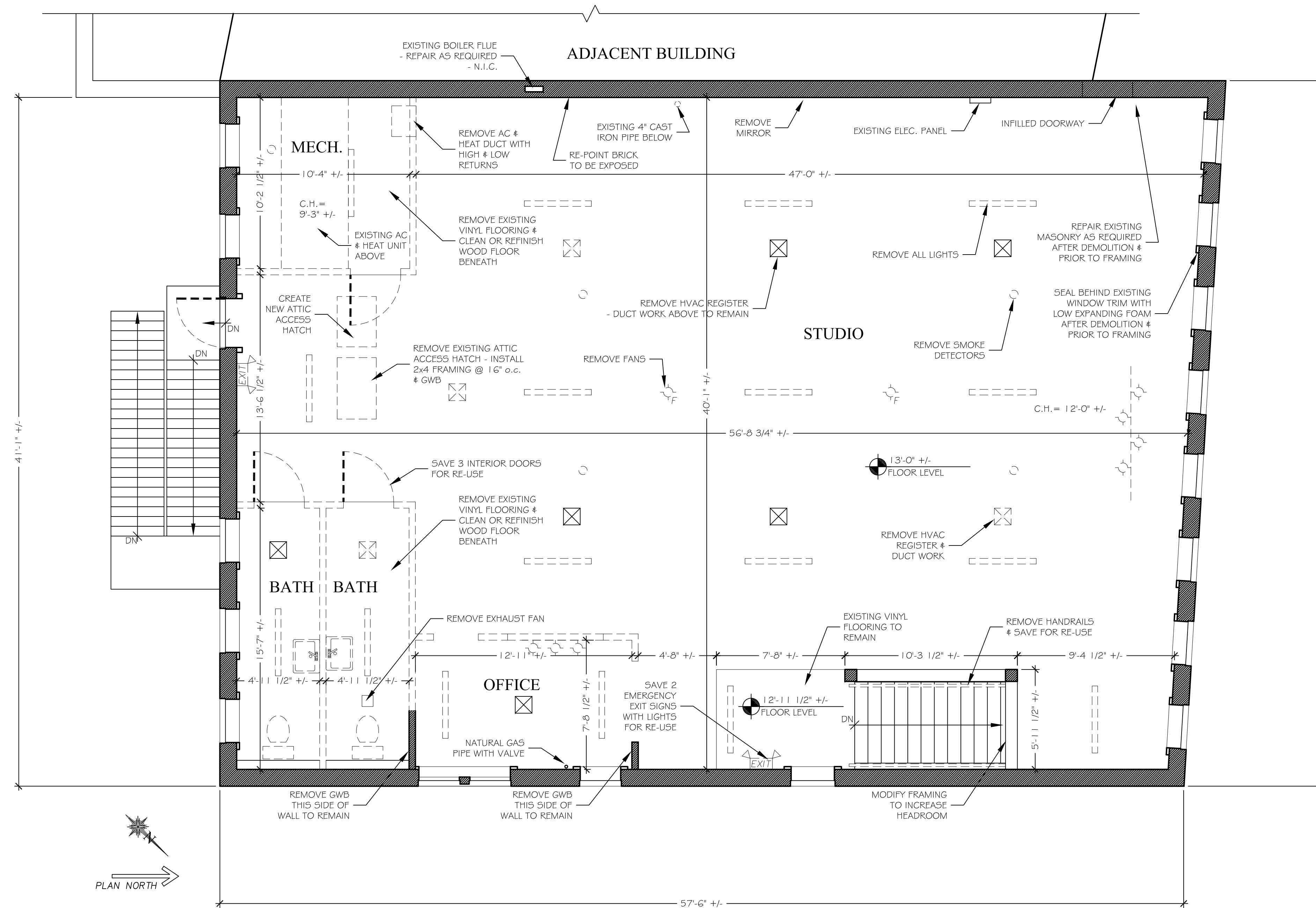
TOWN OF LLOYD

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER  
INFORMATION INCLUDED IN THESE DOCUMENTS  
IF THESE PLANS HAVE BEEN AFFIXED  
WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION
# 1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - A02

DEMOLITION LEGEND
EXISTING WALLS TO REMAIN = [Solid Line]
DEMOLITION = [Dashed Line]

GENERAL NOTES
A. ALL EXISTING ROOM FINISHES TO REMAIN UNLESS OTHERWISE NOTED.



1 DEMOLITION SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

BOLDER  
DESIGN / BUILD  
L.L.C.

DAVID TODER  
ARCHITECT / CRAFTSMAN

298 Platarch Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

PROJECT # 07-26 DATE: 3/28/08

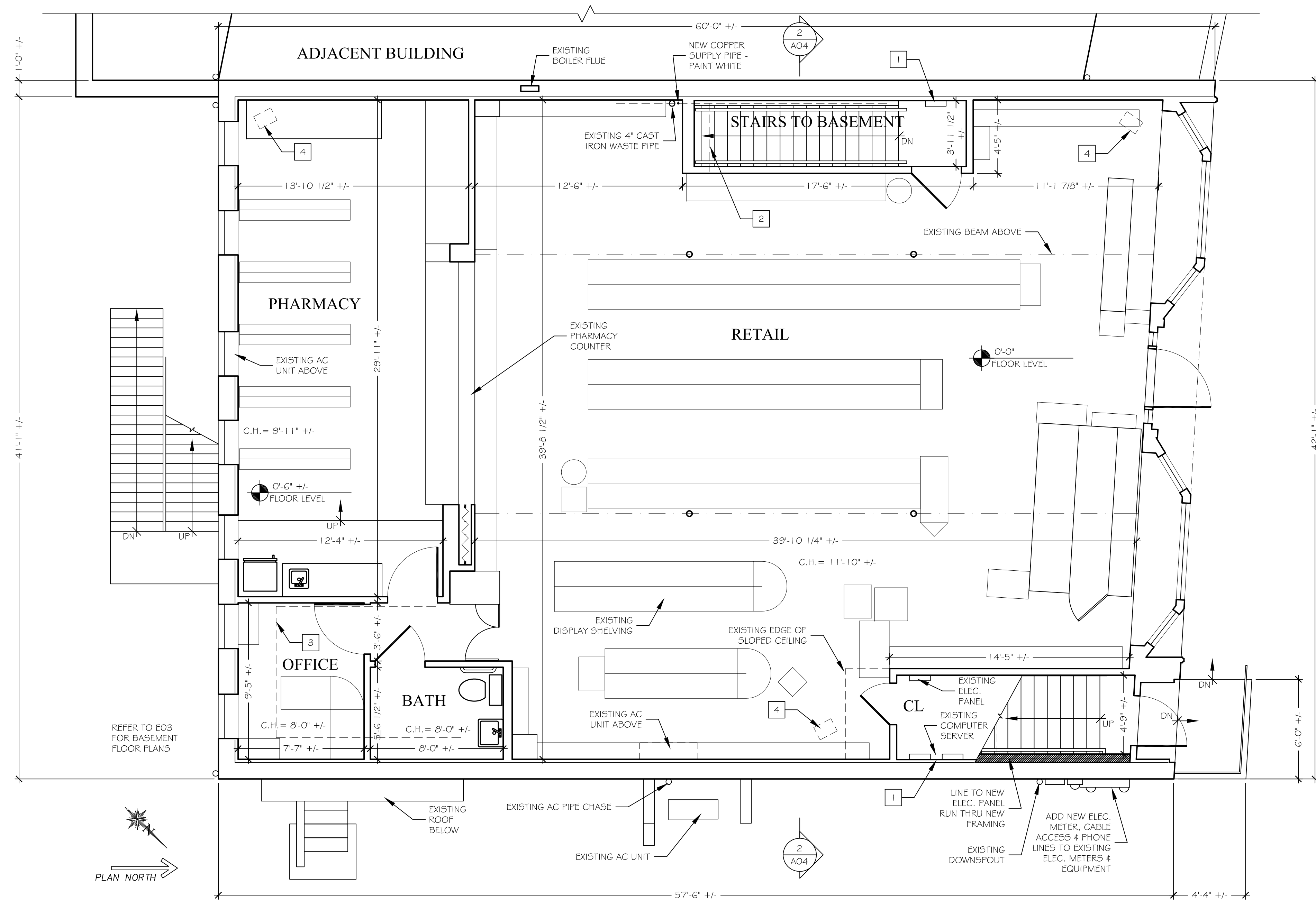
D01

DEMOLITION FLOOR PLAN

CONSTRUCTION LEGEND	
EXISTING WALLS TO REMAIN	
NEW WALLS	
NEW 1 HOUR FIRE SEPARATION	

- GENERAL NOTES**
- DIMENSIONS ARE FROM EXISTING FINISHED SURFACES OR NEW FRAMING. ALIGN EXISTING & NEW FINISHES AS REQUIRED.
  - ALL NEW EXTERIOR WALLS TO BE 2x4 SFF STUDS @ 16" o.c. WITH INSIDE EDGE 6" FROM EXISTING BRICK WALLS. FRAMING IN CONTACT WITH MASONRY TO BE FT OR USE SILL-SEAL. ALL NEW INTERIOR WALLS TO BE 2x4 SFF STUDS @ 16" o.c. UNLESS OTHERWISE NOTED.
  - MINIMIZE DISRUPTION TO PHARMACY BUSINESS AS MUCH AS POSSIBLE.
  - CONTRACTOR WILL PROVIDE NEW PLUMBING FIXTURES (KITCHEN SINKS & FAUCETS, BATH SINKS & FAUCETS, TOILETS, TUB & SHOWER, TEMPERATURE-BALANCING TUB & SHOWER FAUCETS & SHOWER HEADS) & ALL OTHER PLUMBING ELEMENTS INCLUDING (2) KENMORE POWER MISER @ 40gal. COMPACT ELEC. WATER HEATERS OR EQUAL & INSTALL ALL ELEMENTS. OWNER WILL PROVIDE NEW APPLIANCES (KITCHEN RANGES, VENTING MICROWAVE OVENS, DISHWASHERS, REFRIGERATORS & STACK WASHER / DRYERS). CO-ORDINATE FOR APPLIANCE INSTALLATION WITH OTHER CONTRACTORS.
  - CONTRACTOR TO PROVIDE & INSTALL KITCHEN CABINETS & COUNTERTOPS, BATH VANITIES & TOWEL BARS. REFER TO A05. CABINETS TO HAVE STAINED HARDWOOD FINISH. COUNTERTOP MATERIAL TBD.
  - CONTRACTOR PROVIDED ITEMS SUCH AS CABINETS & PLUMBING & ELECTRICAL FIXTURES SHOULD BE A BALANCE BETWEEN DURABILITY, LOW COST & AESTHETIC APPEAL. APPLIANCES (BY OWNER) TO BE WHITE. PLUMBING FIXTURES TO BE CHROME OR STAINLESS STEEL. LIGHT FIXTURES TO BE WHITE AND/OR CHROME / NICKEL. DOOR HARDWARE TO BE ANTIQUE BRASS.
  - MODIFY EXISTING SECOND FLOOR HVAC SYSTEM TO PROVIDE (2) HEATING ZONES. CONTRACTOR WILL PROVIDE & INSTALL NEW REGISTERS WITH DAMPERS TO ENABLE FINAL BALANCING, DUCT WORK, & ALL OTHER COMPONENTS AS REQUIRED. REFER TO E02 FOR REGISTER, RETURN & THERMOSTAT LOCATIONS. CONFIRM PROPOSED LOCATION & NUMBER OF REGISTERS & ACCESS TO HVAC UNIT WITH HVAC PROFESSIONAL.

- KEYED NOTES**
- MOVE EXISTING PHARMACY DOOR ALARM WITH LOUD BEEPING FROM UNDER STAIR CLOSET TO BASEMENT STAIR ENCLOSURE - RE-WIRE AS REQUIRED
  - DASHED LINE INDICATES CEILING DISTURBANCE FOR PLUMBING ABOVE - RUN SUPPLY & WASTE PLUMBING ALONG WALL UNDER CEILING & BOX IN WITH 2x4s & GWB - RUN WASTE PIPE FROM TOILET WITHIN JOISTS - CREATE OPENING FOR TOILET PLUMBING ACCESS ALONG EXISTING CEILING TILE LINES & RE-INSTALL AFTER OR USE FURRING STRIPS & GWB FOR NEAT FINISH
  - DASHED LINE INDICATES PLUMBING RUNS ABOVE - MOST PLUMBING CAN BE IN SPACE ABOVE OFFICE & BATH WITH EXISTING ACCESS HATCH ABOVE OFFICE DOOR - PLUMBING RUN OVER PHARMACY DOOR CAN BE RUN THRU SECOND FLOOR WALL FRAMING - IF NOT, THEN RUN THRU SPACE ABOVE PHARMACY DROP CEILING - IF NOT, THEN BOX IN
  - EXISTING HEAT UNIT ABOVE FROM STEAM BOILER



**1 FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**ALTERATION  
FOR**

**WILLIAM HALSTEAD  
PHARMACY APARTMENTS**

**60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK**

**TOWN OF LLOYD**

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER INFORMATION INCLUDED IN THESE DOCUMENTS IF THESE PLANS HAVE BEEN AFFIXED WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION
# 1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - A02

**BOLDER  
DESIGN / BUILD  
L.L.C.**

DAVID TODER  
ARCHITECT / CRAFTSMAN

298 Phareah Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

PROJECT # 07-26 DATE: 3/28/08

**A01**

FLOOR PLANS

CONSTRUCTION LEGEND	
EXISTING WALLS TO REMAIN =	
NEW WALLS =	
NEW 1 HOUR FIRE SEPARATION =	

- GENERAL NOTES**
- A. DIMENSIONS ARE FROM EXISTING FINISHED SURFACES OR NEW FRAMING. ALIGN EXISTING & NEW FINISHES AS REQUIRED.
  - B. ALL NEW EXTERIOR WALLS TO BE 2x4 SFF STUDS @ 16" o.c. WITH INSIDE EDGE 6" FROM EXISTING BRICK WALLS. FRAMING IN CONTACT WITH MASONRY TO BE PT OR USE SILL-SEAL. ALL NEW INTERIOR WALLS TO BE 2x4 SFF STUDS @ 16" o.c. UNLESS OTHERWISE NOTED.
  - C. MINIMIZE DISRUPTION TO PHARMACY BUSINESS AS MUCH AS POSSIBLE.
  - D. CONTRACTOR WILL PROVIDE NEW PLUMBING FIXTURES (KITCHEN SINKS & FAUCETS, BATH SINKS & FAUCETS, TOILETS, TUB & SHOWER, TEMPERATURE-BALANCING TUB & SHOWER FAUCETS & SHOWER HEADS) & ALL OTHER PLUMBING ELEMENTS INCLUDING (2) KENMORE POWER MISER 9 40gal. COMPACT ELEC. WATER HEATERS OR EQUAL & INSTALL ALL ELEMENTS. OWNER WILL PROVIDE NEW APPLIANCES (KITCHEN RANGES, VENTING, MICROWAVE OVENS, DISHWASHERS, REFRIGERATORS & STACK WASHER / DRYERS). CO-ORDINATE FOR APPLIANCE INSTALLATION WITH OTHER CONTRACTORS.
  - E. CONTRACTOR TO PROVIDE & INSTALL KITCHEN CABINETS & COUNTERTOPS, BATH VANITIES & TOWEL BARS. REFER TO A05. CABINETS TO HAVE STAINED HARDWOOD FINISH. COUNTERTOP MATERIAL TBD.
  - F. CONTRACTOR PROVIDED ITEMS SUCH AS CABINETS & PLUMBING & ELECTRICAL FIXTURES SHOULD BE A BALANCE BETWEEN DURABILITY, LOW COST & AESTHETIC APPEAL. APPLIANCES (BY OWNER) TO BE WHITE, PLUMBING FIXTURES TO BE CHROME OR STAINLESS STEEL. LIGHT FIXTURES TO BE WHITE AND/OR CHROME / NICKEL. DOOR HARDWARE TO BE ANTIQUE BRASS.
  - G. MODIFY EXISTING SECOND FLOOR HVAC SYSTEM TO PROVIDE (2) HEATING ZONES. CONTRACTOR WILL PROVIDE & INSTALL NEW REGISTERS WITH DAMPERS TO ENABLE FINAL BALANCING, DUCT WORK, & ALL OTHER COMPONENTS AS REQUIRED. REFER TO E02 FOR REGISTER, RETURN & THERMOSTAT LOCATIONS. CONFIRM PROPOSED LOCATION & NUMBER OF REGISTERS & ACCESS TO HVAC UNIT WITH HVAC PROFESSIONAL.

**ALTERATION  
FOR**

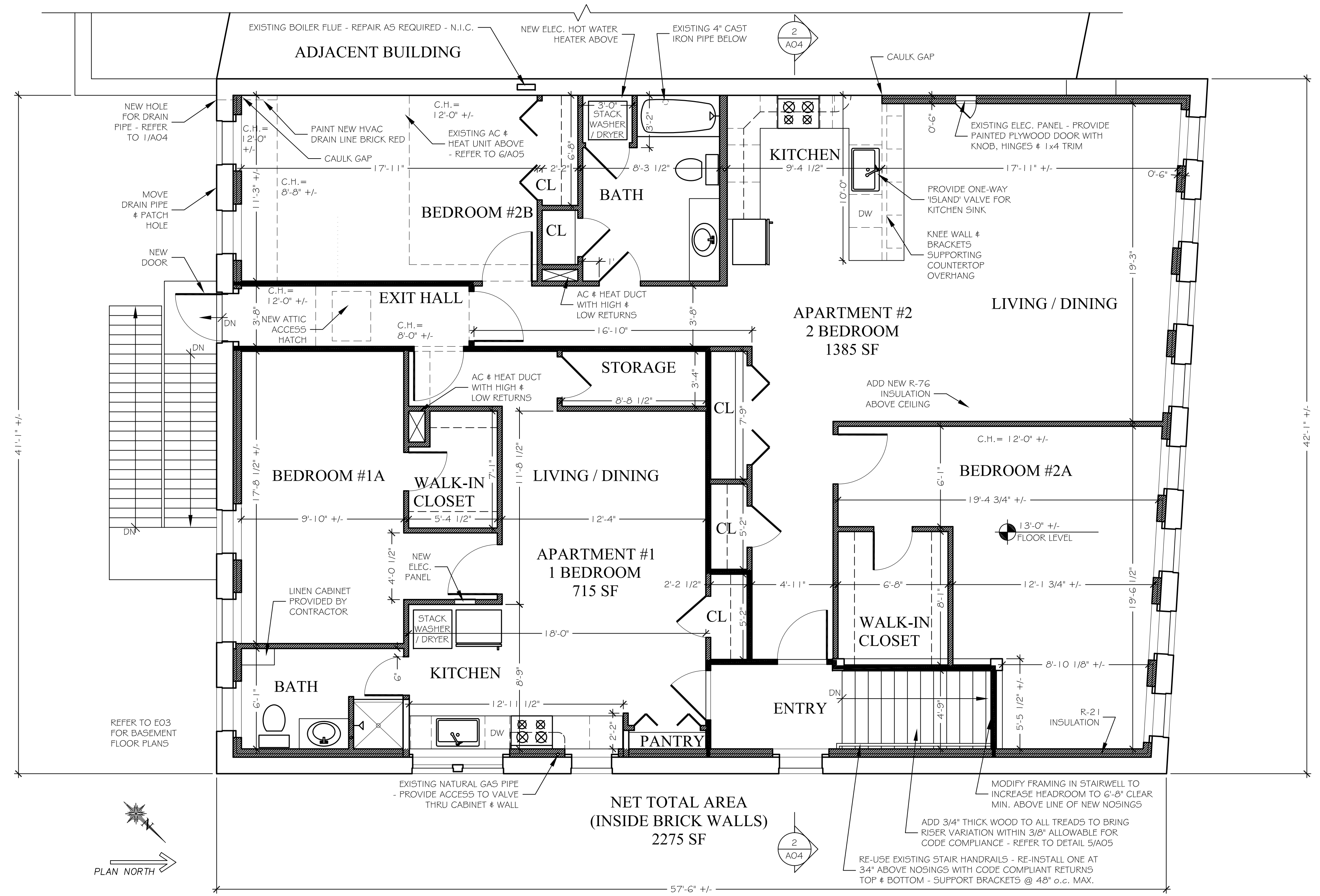
**WILLIAM HALSTEAD  
PHARMACY APARTMENTS**

**60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK**

**TOWN OF LLOYD**

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER INFORMATION INCLUDED IN THESE DOCUMENTS IF THESE PLANS HAVE BEEN AFFIXED WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION
# 1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - A02



**1 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**BOLDER  
DESIGN / BUILD  
L.L.C.**

DAVID TODER  
ARCHITECT / CRAFTSMAN

298 Phareah Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

PROJECT # 07-26      DATE: 3/28/08

**A02**

FLOOR PLANS

**ALTERATION  
FOR**

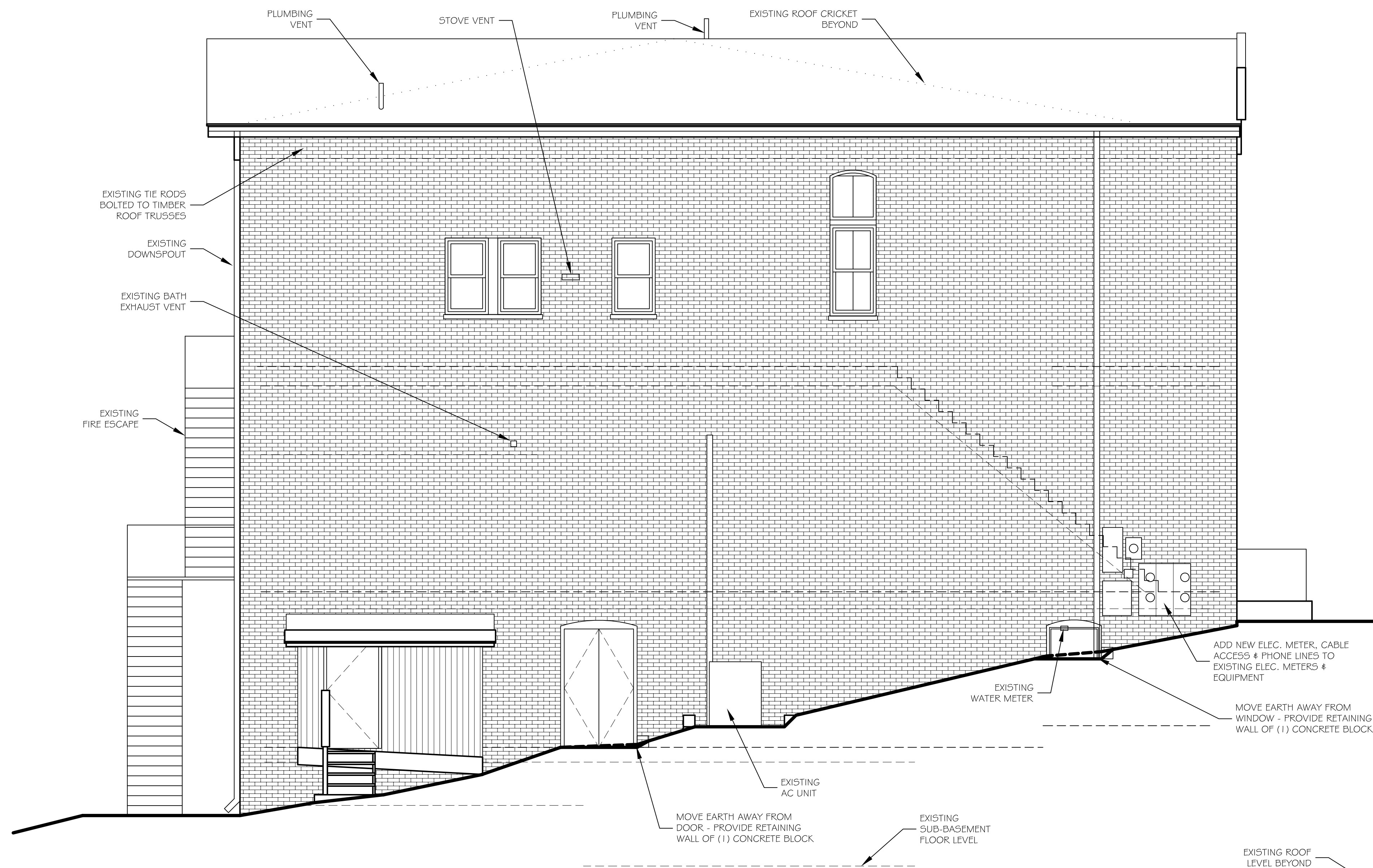
**WILLIAM HALSTEAD  
PHARMACY APARTMENTS**

**60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK**

**TOWN OF LLOYD**

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER  
INFORMATION INCLUDED IN THESE DOCUMENTS  
IF THESE PLANS HAVE BEEN AFFIXED  
WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION
# 1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - A02



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**BOLDER  
DESIGN / BUILD  
L.L.C.**

DAVID TODER  
ARCHITECT / CRAFTSMAN

298 Platarch Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

PROJECT # 07-26 DATE: 3/28/08

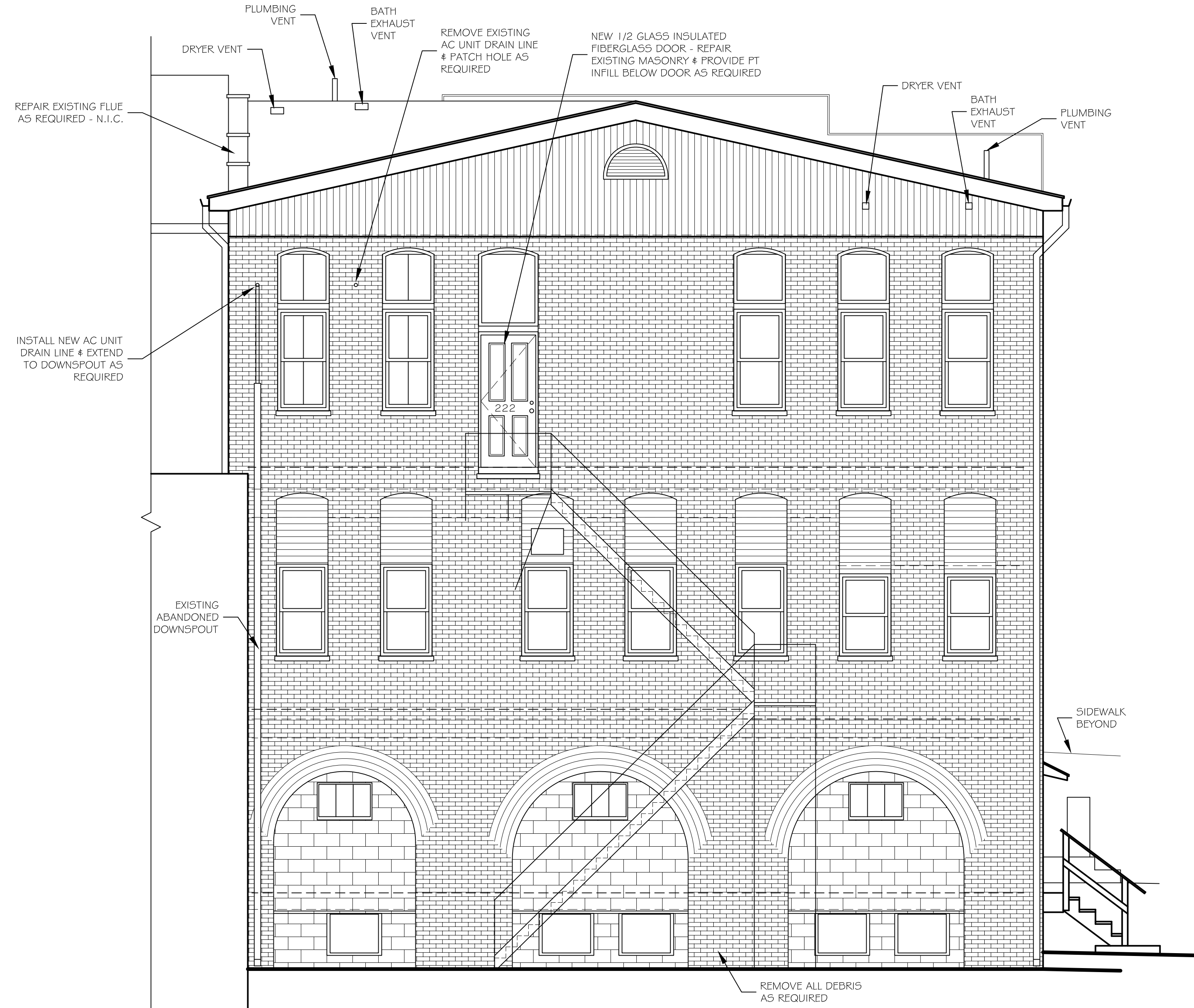
**A03**

ELEVATIONS

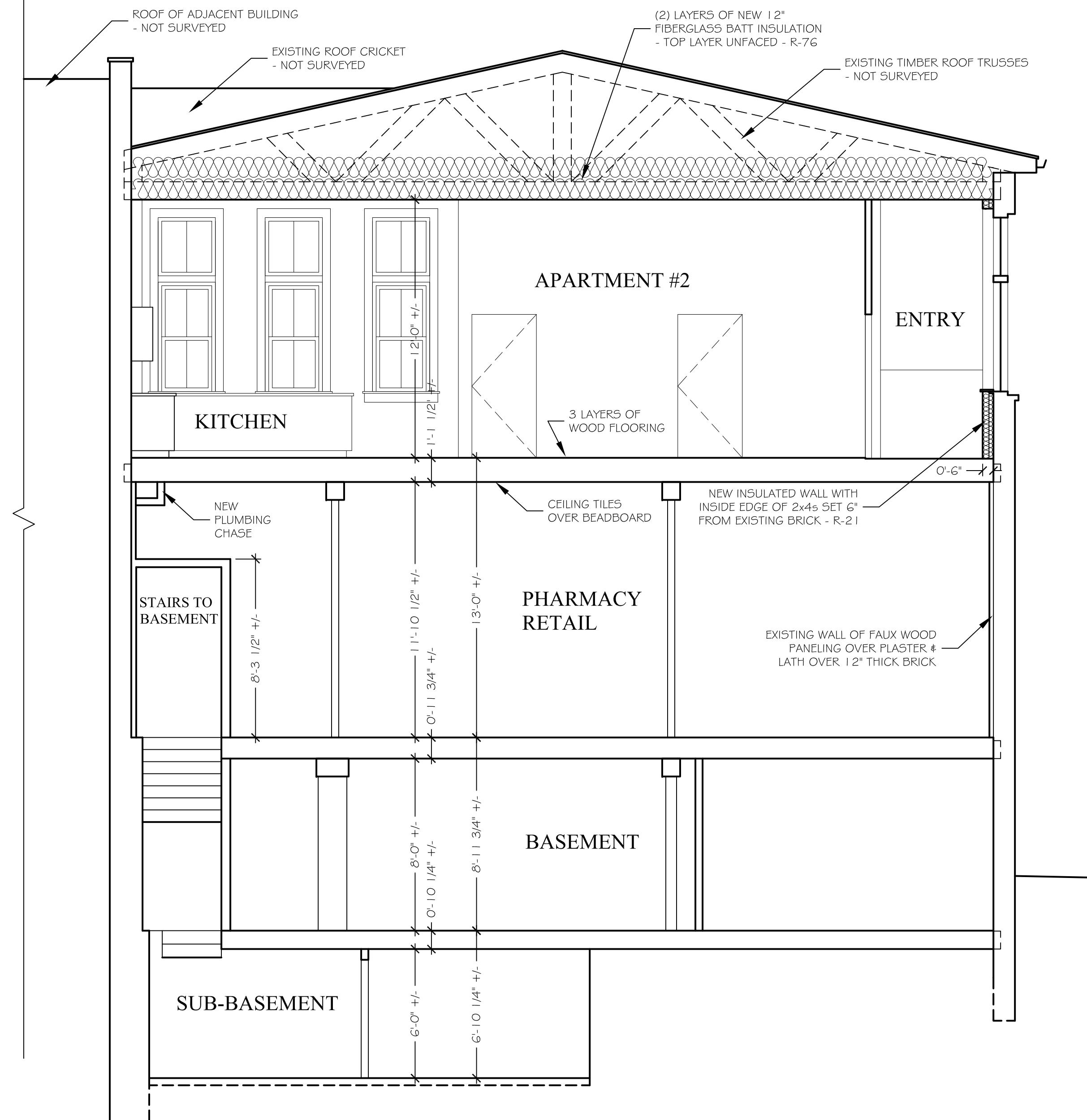
ALTERATION  
FOR  
**WILLIAM HALSTEAD  
PHARMACY APARTMENTS**  
60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK  
TOWN OF LLOYD

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER INFORMATION INCLUDED IN THESE DOCUMENTS IF THESE PLANS HAVE BEEN AFFIXED WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION
# 1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - A02



**1** SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



**2** BUILDING SECTION  
SCALE: 1/4" = 1'-0"

**BOLDER  
DESIGN / BUILD  
L.L.C.**

DAVID TODER  
ARCHITECT / CRAFTSMAN

298 Platarch Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

PROJECT # 07-26 DATE: 3/28/08

**A04**

ELEVATION & SECTION

**ALTERATION  
FOR**

**WILLIAM HALSTEAD  
PHARMACY APARTMENTS**

**60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK**

**TOWN OF LLOYD**

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER  
INFORMATION INCLUDED IN THESE DOCUMENTS  
IF THESE PLANS HAVE BEEN AFFIXED  
WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION
# 1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - A02

ROOM FINISH SCHEDULE												
ROOM #	ROOM NAME	FLOOR		BASE		WALLS		TRIM		CEILING		REMARKS
		SUB-FLOOR	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
201	ENTRY	EXG	EXG	WD	PAINT	GWB	PAINT	EXG/WD	PAINT	EXG	PAINT	EXISTING VINYL FLOORING TO REMAIN - REFER TO GENERAL NOTE #6
202	LIVING / DINING	EXG	EXG	WD	PAINT	GWB	PAINT	WD	PAINT	EXG	PAINT	
203	KITCHEN	EXG	EXG	WD	PAINT	GWB	PAINT	EXG/WD	PAINT	EXG	PAINT	
204	BATH	EXG	EXG	WD	PAINT	MR GWB	PAINT	EXG/WD	PAINT	EXG	PAINT	
205	BEDROOM #1A	EXG	EXG	WD	PAINT	GWB	PAINT	EXG/WD	PAINT	EXG	PAINT	PATCH SHEETROCK AT REMOVED ATTIC ACCESS HATCH
206	WALK-IN CLOSET	EXG	EXG	WD	PAINT	GWB	PAINT	WD	PAINT	EXG	PAINT	
207	STORAGE	EXG	EXG	WD	PAINT	GWB	PAINT	WD	PAINT	EXG	PAINT	
208	BEDROOM #2A	EXG	EXG	WD	PAINT	GWB	PAINT	EXG/WD	PAINT	EXG	PAINT	
209	WALK-IN CLOSET	EXG	EXG	WD	PAINT	GWB	PAINT	WD	PAINT	EXG	PAINT	
210	BEDROOM #2B	EXG	EXG	WD	PAINT	GWB	PAINT	EXG/WD	PAINT	EXG	PAINT	
211	WALK-IN CLOSET	EXG	EXG	WD	PAINT	GWB	PAINT	WD	PAINT	EXG	PAINT	
212	LIVING / DINING	EXG	EXG	WD	PAINT	GWB	PAINT	EXG/WD	PAINT	EXG	PAINT	
213	KITCHEN	EXG	EXG	WD	PAINT	GWB	PAINT	WD	PAINT	EXG	PAINT	EXPOSED BRICK WALL
214	BATH	EXG	EXG	WD	PAINT	MR GWB	PAINT	WD	PAINT	EXG	PAINT	EXPOSED BRICK WALL
215	BEDROOM #2C	EXG	EXG	WD	PAINT	GWB	PAINT	EXG/WD	PAINT	EXG/GWB	PAINT	EXPOSED BRICK WALL WITH 1x4 BASE TRIM
216	EXIT HALL	EXG	EXG	WD	PAINT	GWB	PAINT	EXG/WD	PAINT	EXG/GWB	PAINT	ATTIC ACCESS HATCH OF PAINTED PLYWOOD # GWB WITH 1x4 TRIM

**GENERAL NOTES**

- = NOT APPLICABLE, CONC = CONCRETE, CT = CERAMIC TILE, EXG = EXISTING, MR GWB = MOISTURE RESISTANT GYPSUM WALL BOARD = SHEETROCK, PLY = PLYWOOD, WD = WOOD.
- ALL CLOSETS TO HAVE THE SAME FINISHES AS THE ADJACENT ROOM UNLESS OTHERWISE NOTED.
- NEW INTERIOR DOOR TRIM TO BE 2 1/4" COLONIAL. NEW BASE TRIM TO BE 1x4 WOOD.
- ALL WORK TO BE PAINTED SHALL RECEIVE (1) COAT OF PRIMER # (1) FINISH COAT OF WHITE PAINT, UNLESS OTHERWISE NOTED. NEW WORK TO BE PAINTED BRICK RED SHALL RECEIVE (1) COAT OF PRIMER # (2) FINISH COATS.
- SAND # RE-FINISH EXISTING HARDWOOD FLOORING AS REQUIRED.
- NEW STAIR TREADS TO BE 3/4" THICK HARDWOOD. SAND # FINISH AS REQUIRED. REFER TO DETAIL 5/AOS.

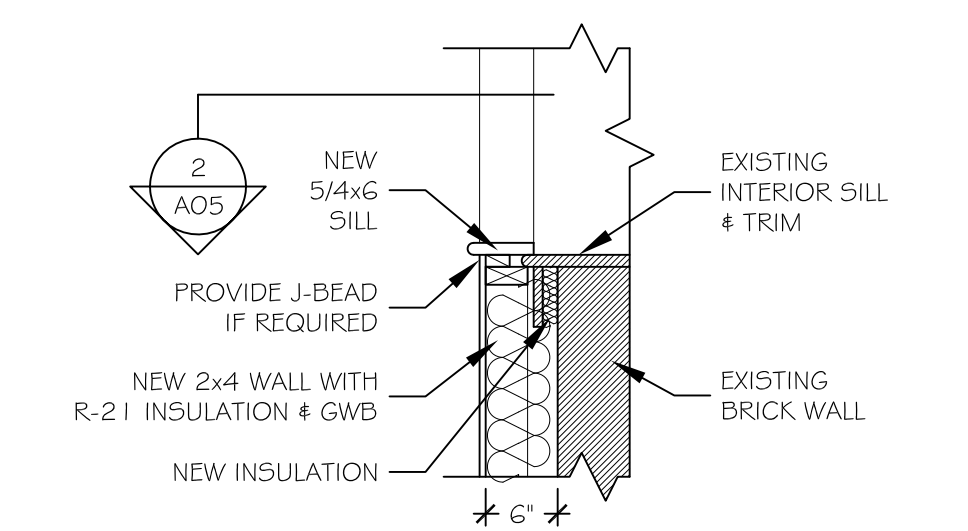
DOOR & FRAME SCHEDULE												
DOOR #	DOOR				FRAME				SADDLE		NOTES	
	SIZE WIDTH x HEIGHT x THICKNESS	MATERIAL	TYPE	GLASS	FIRE RATING	DETAIL		MATERIAL	TYPE	HARDWARE GROUP		
						HEAD	JAMB					
201	3'-0" x 6'-8" x 1 3/4"	FBG	G-PANEL	---	20 MIN	WD	---	---	ALUM	---	A	THERMATRU #55F1 60
202	4'-0" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	D	BI-FOLD PAIR
203	2'-4" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	C	
204	3'-0" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	C	
205	2'-4" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	B	
206	3'-0" x 6'-8" x 1 3/4"	FBG	SMOOTH	---	20 MIN	WD	---	---	ALUM	---	A	RE-USE EXISTING
207	2'-6" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	B	
208	2'-6" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	B	
209	3'-0" x 6'-8" x 1 3/4"	FBG	G-PANEL	---	20 MIN	WD	---	---	ALUM	---	A	THERMATRU #55F1 60
210	3'-0" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	C	RE-USE EXISTING
211	2'-4" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	B	
212	3'-0" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	C	RE-USE EXISTING
213	2'-4" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	B	
214	2'-6" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	B	
215	6'-0" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	D	BI-FOLD PAIR
216	2'-6" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	C	
217	2'-4" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	B	
218	3'-0" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	B	
219	3'-0" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	C	
220	6'-0" x 6'-8" x 1 3/8"	WD	G-PANEL	---	---	WD	---	---	---	---	D	BI-FOLD PAIR
221	3'-0" x 6'-8" x 1 3/4"	FBG	G-PANEL	---	20 MIN	WD	---	---	ALUM	---	A	THERMATRU #55F1 60
222	2'-10" x 6'-8" x 1 3/4"	FBG	4-PANEL	YES	---	WD	---	---	---	---	A	INSULATED WITH WEATHERSTRIPPING

**GENERAL NOTES**

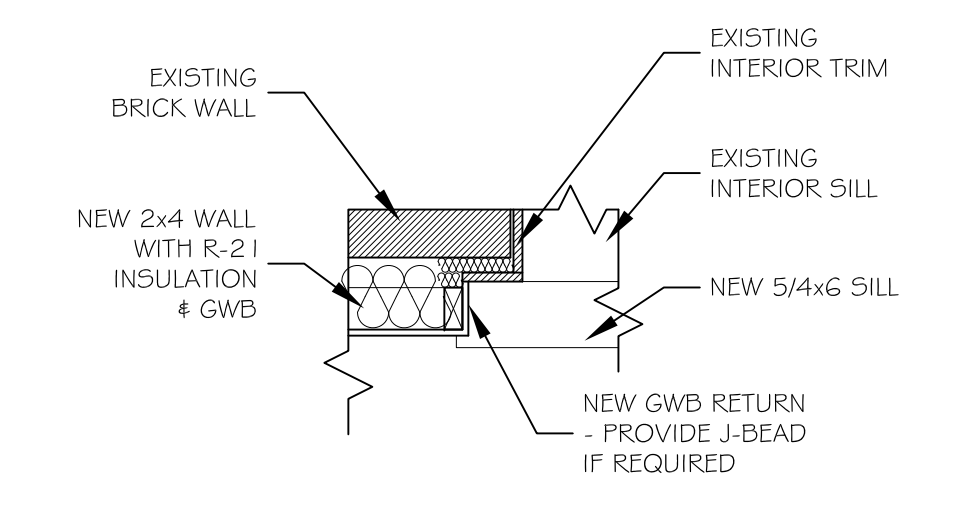
- = NOT APPLICABLE, ALUM = ALUMINUM, FBG = FIBERGLASS, MARB = MARBLE, VY = VINYL, WD = WOOD.
- ALL INTERIOR DOORS SHALL BE PAINTED G-PANEL PINE, 1 3/8" THICK, UNLESS OTHERWISE NOTED.
- CONFIRM DOOR SIZES, SWINGS # HARDWARE PRIOR TO ORDERING.
- DOOR HARDWARE TO HAVE ANTIQUE BRASS FINISH. PROVIDE DOOR BUMPERS AS REQUIRED.

**DOOR HARDWARE**

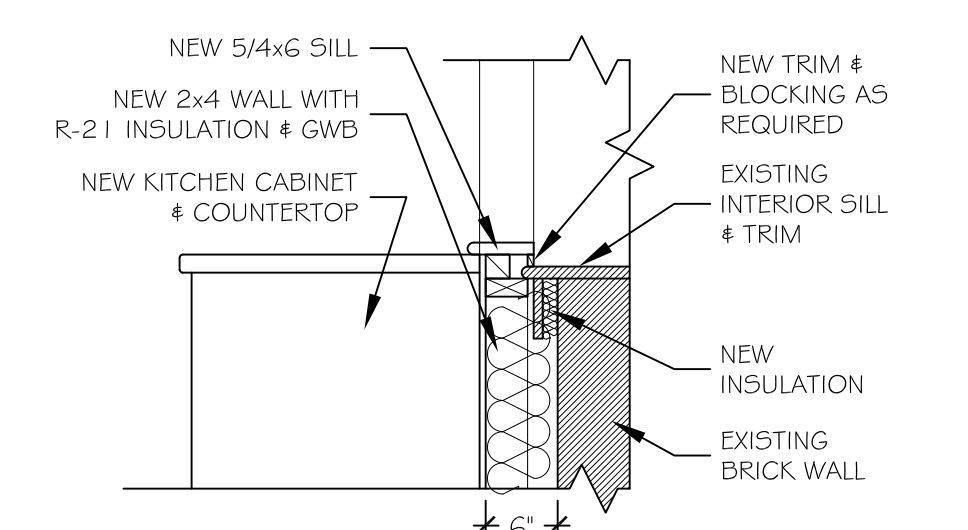
- (3) HINGES, (1) KEVED ENTRANCE LOCK SET, ALUMINUM SADDLE
- (3) HINGES, (1) HANDLE PAIR WITH PASSAGE LATCH
- (3) HINGES, (1) HANDLE PAIR WITH BED / BATH PRIVACY LOCK
- (12) HINGES, (1) TRACK # PIVOT SYSTEM, (2) KNOBS



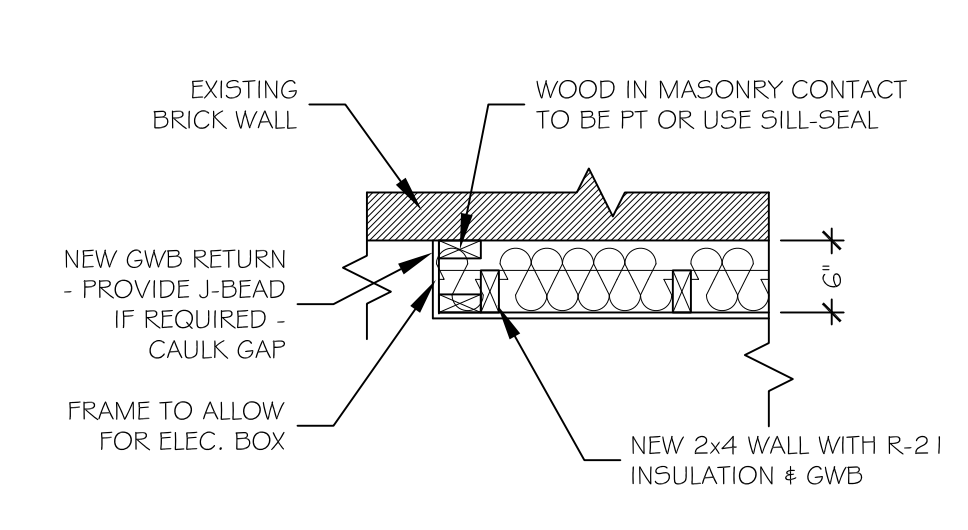
**1 WINDOW SILL DETAIL**  
SCALE: 3/4" = 1'-0"



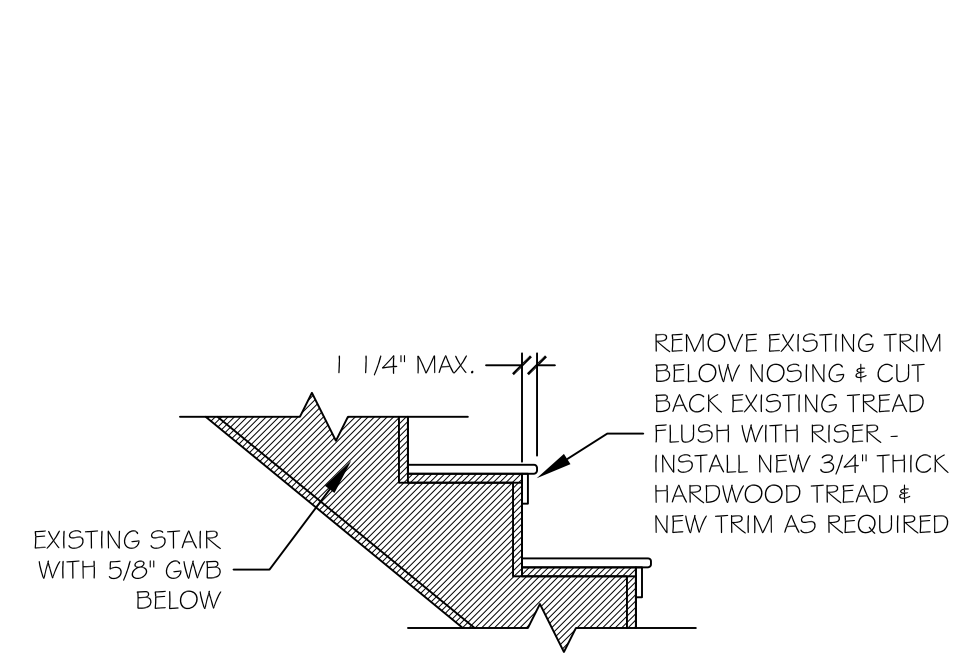
**2 WINDOW JAMB DETAIL**  
SCALE: 3/4" = 1'-0"



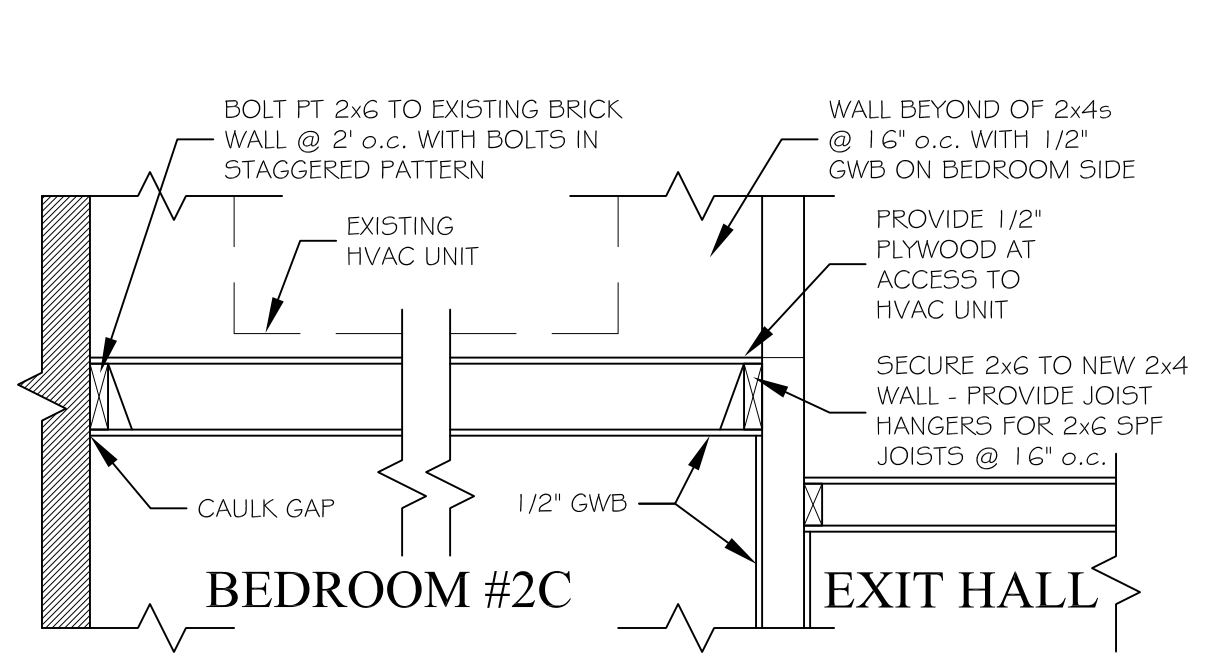
**3 WINDOW SILL DETAIL**  
SCALE: 3/4" = 1'-0"



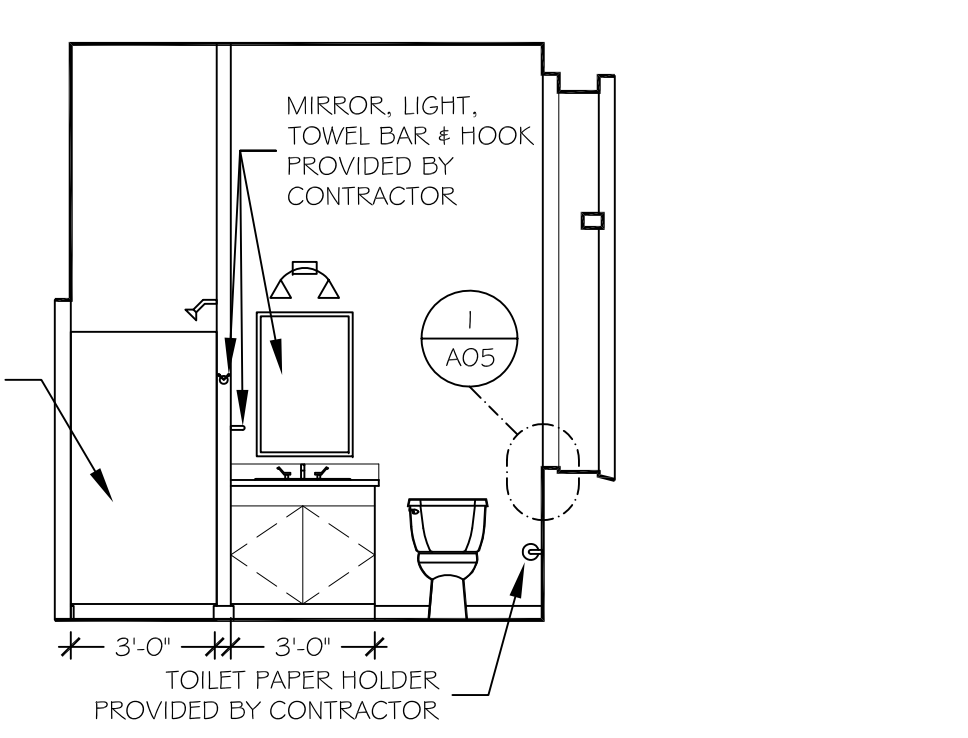
**4 WALL DETAIL**  
SCALE: 3/4" = 1'-0"



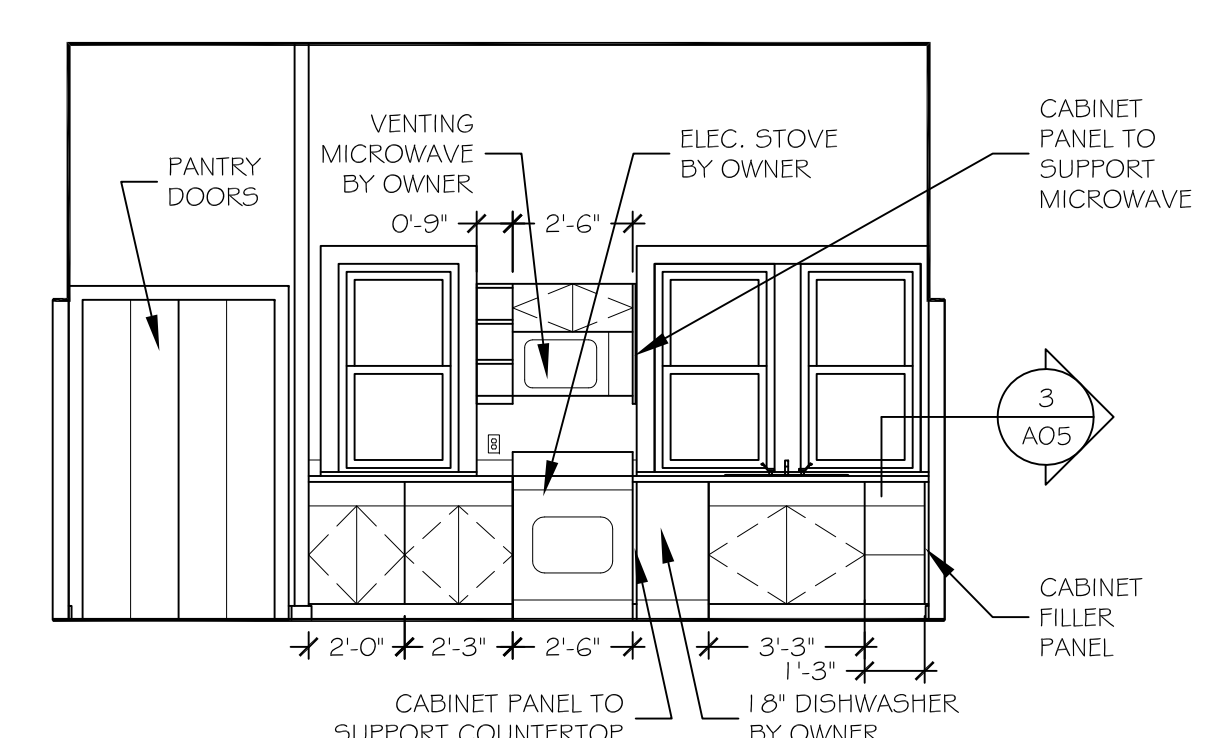
**5 STAIR TREAD DETAIL**  
SCALE: 3/4" = 1'-0"



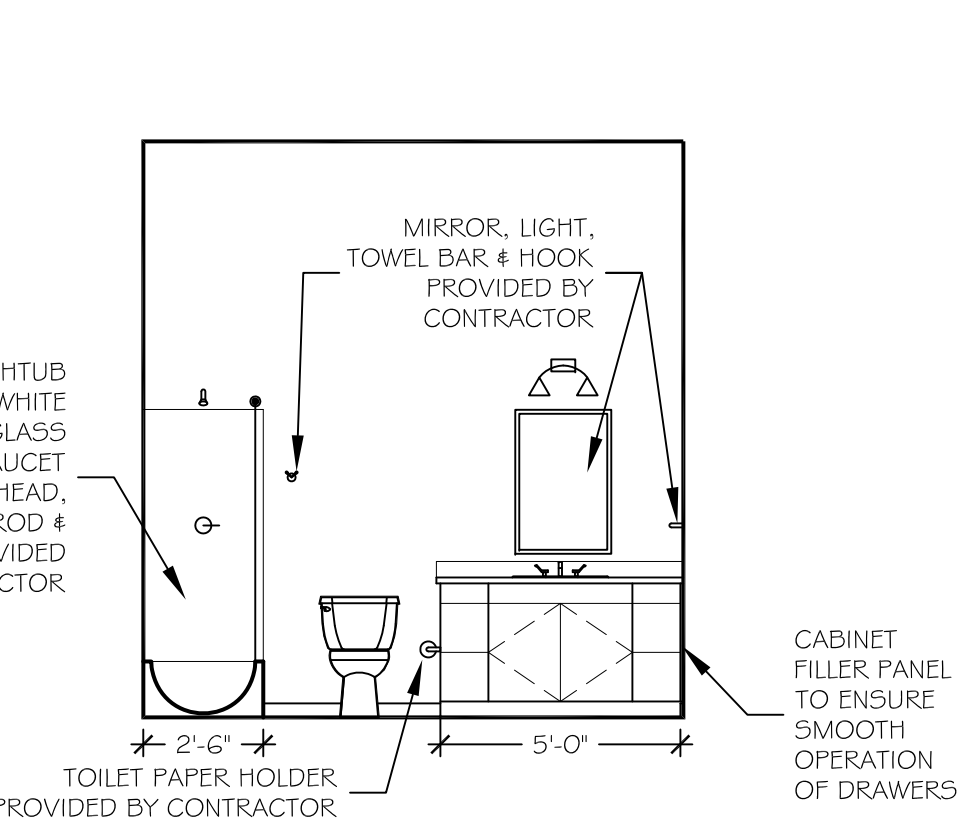
**6 CEILING DETAIL**  
SCALE: 3/4" = 1'-0"



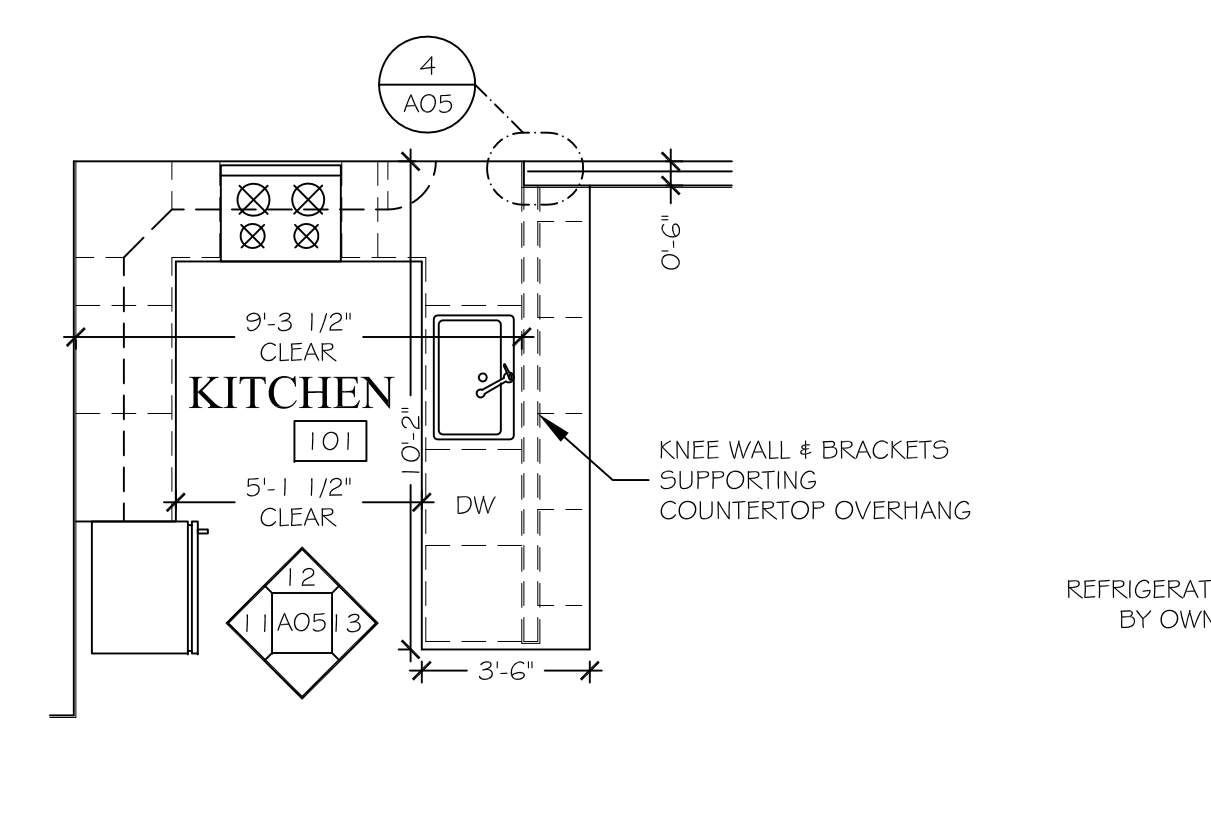
**7 INTERIOR ELEVATION - APT. #1**  
SCALE: 1/4" = 1'-0"



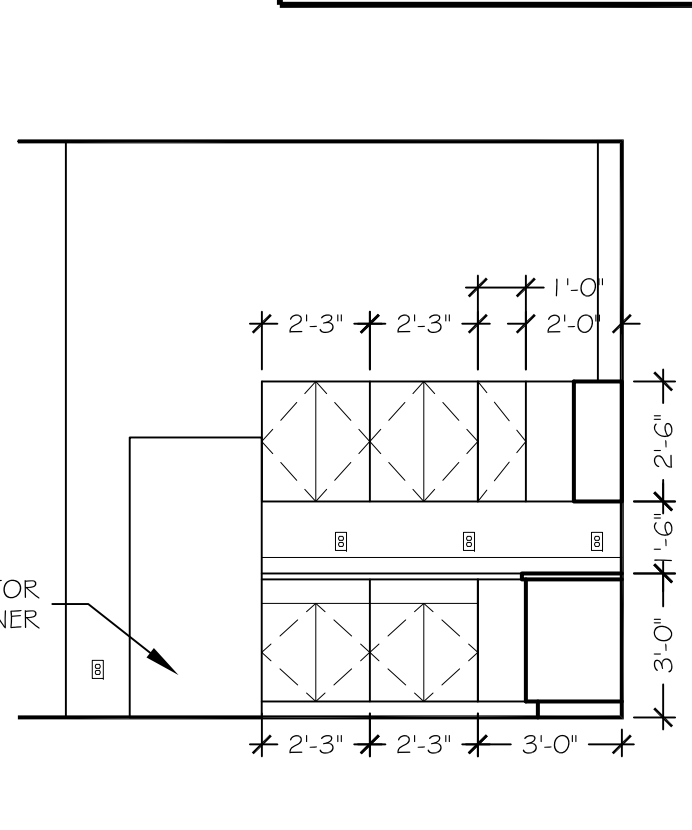
**8 INTERIOR ELEVATION - APT. #1**  
SCALE: 1/4" = 1'-0"



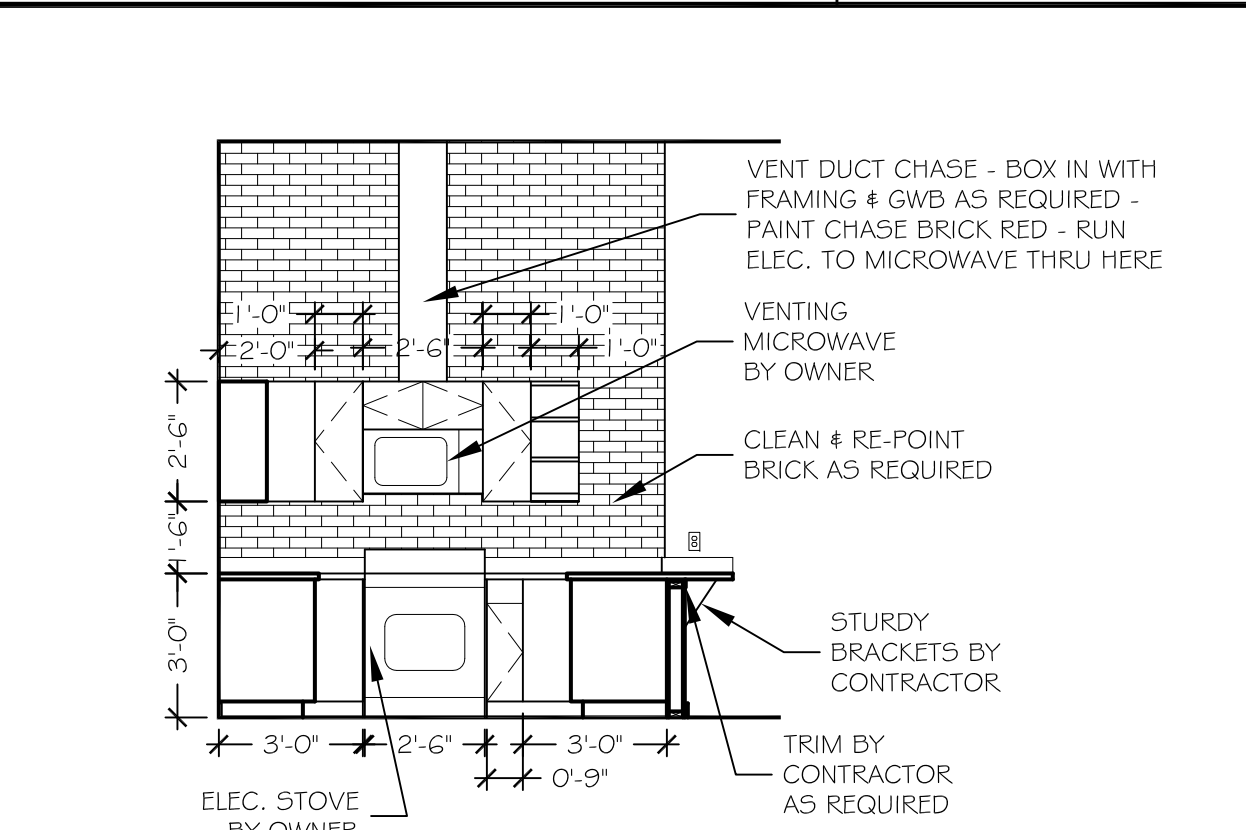
**9 INTERIOR ELEVATION - APT. #2**  
SCALE: 1/4" = 1'-0"



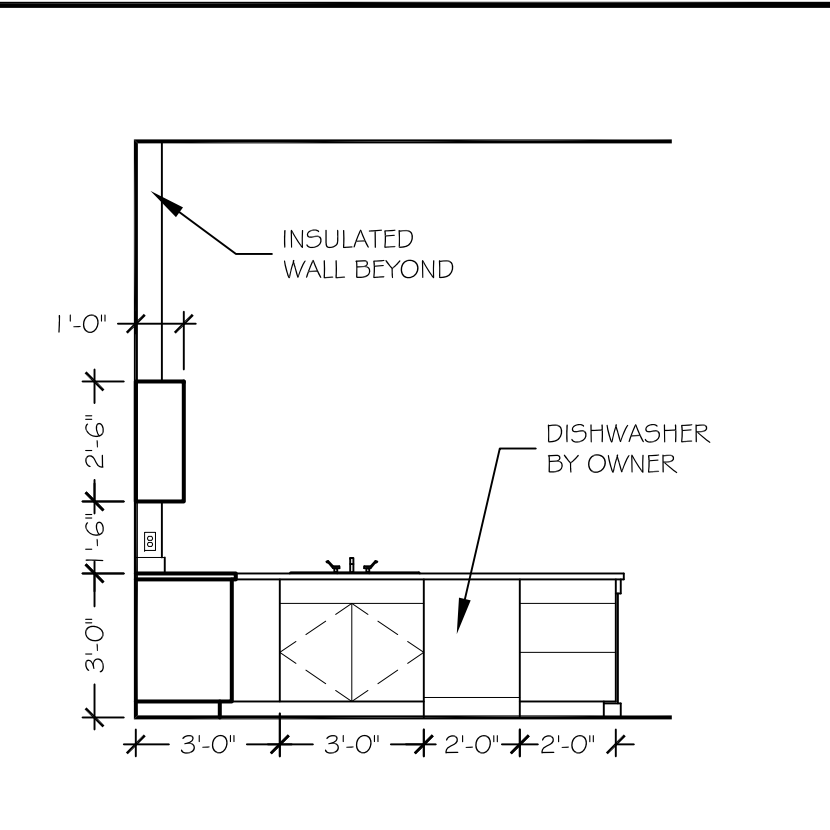
**10 INTERIOR ELEVATION - APT. #2**  
SCALE: 1/4" = 1'-0"



**11 INT. ELEV. - APT. #2**  
SCALE: 1/4" = 1'-0"



**12 INTERIOR ELEVATION - APT. #2**  
SCALE: 1/4" = 1'-0"



**13 INT. ELEV. - APT. #2**  
SCALE: 1/4" = 1'-0"

**BOLDER  
DESIGN / BUILD  
L.L.C.**

DAVID TODER  
ARCHITECT / CRAFTSMAN

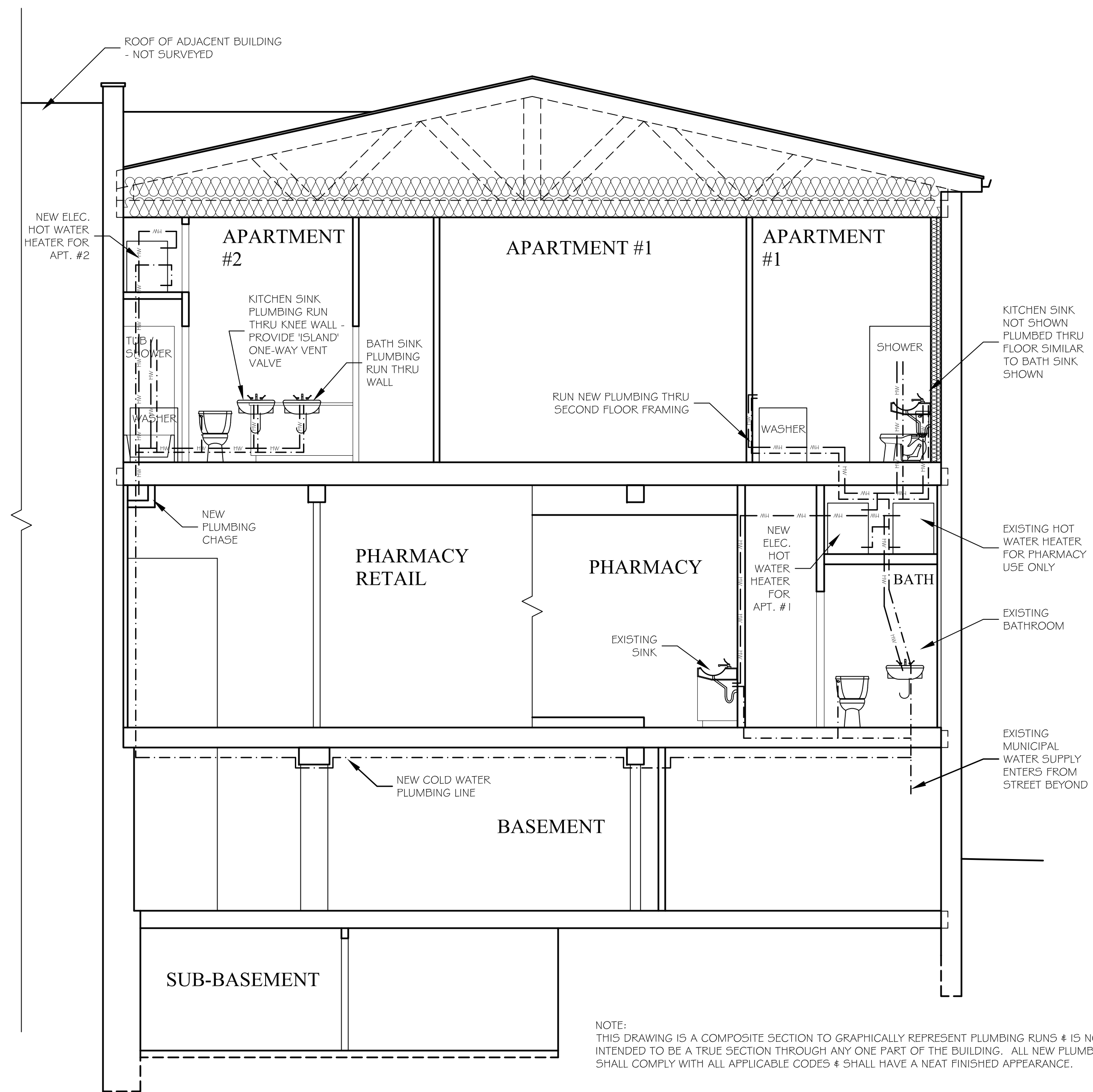
298 Plutarch Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

PROJECT # 07-26 DATE: 3/28/08

ALTERATION  
FOR  
WILLIAM HALSTEAD  
PHARMACY APARTMENTS  
60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK  
TOWN OF LLOYD

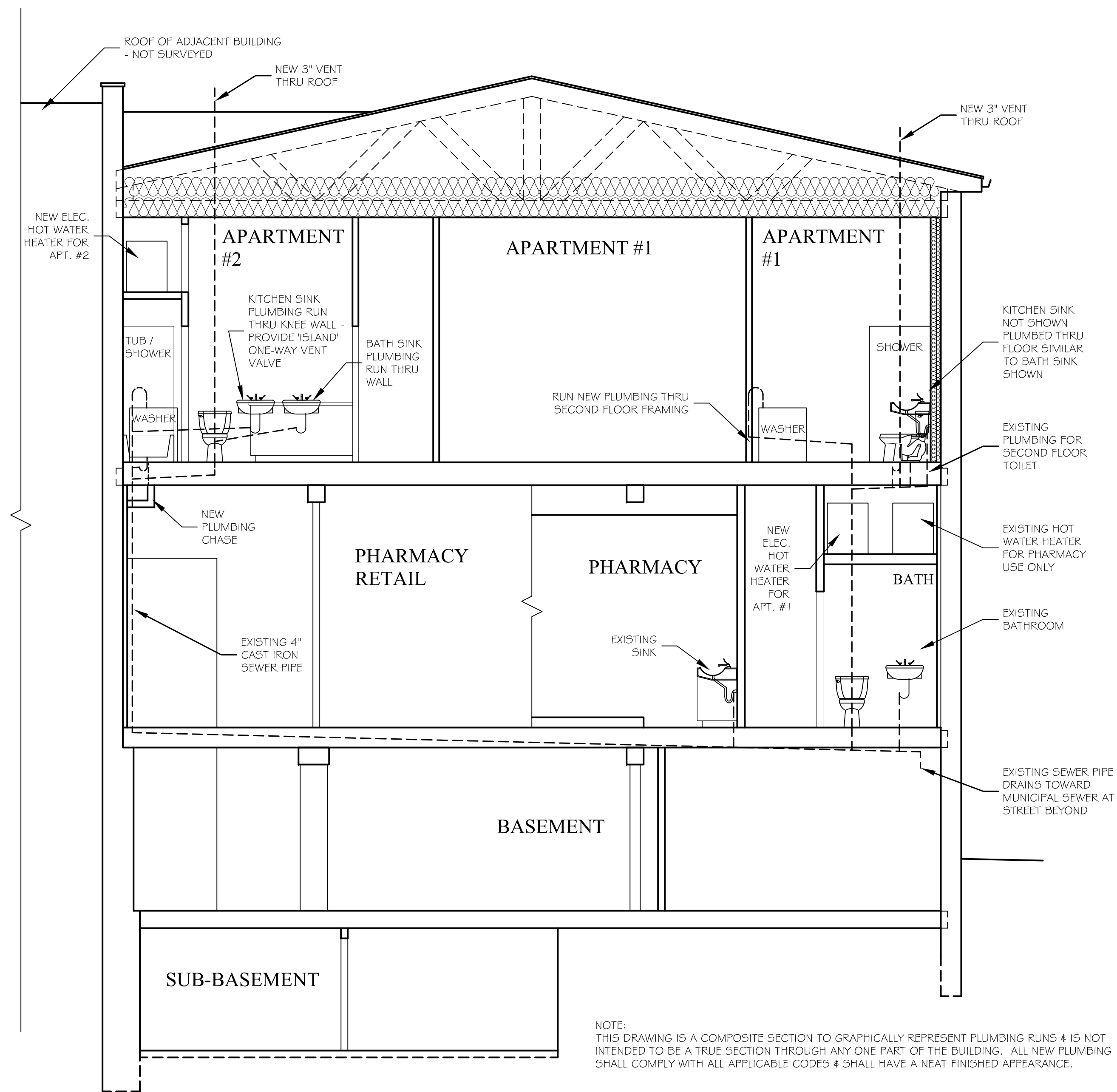
IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER INFORMATION INCLUDED IN THESE DOCUMENTS IF THESE PLANS HAVE BEEN AFFIXED WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION
# 1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - A02



NOTE:  
THIS DRAWING IS A COMPOSITE SECTION TO GRAPHICALLY REPRESENT PLUMBING RUNS & IS NOT INTENDED TO BE A TRUE SECTION THROUGH ANY ONE PART OF THE BUILDING. ALL NEW PLUMBING SHALL COMPLY WITH ALL APPLICABLE CODES & SHALL HAVE A NEAT FINISHED APPEARANCE.

1 PLUMBING RISER DIAGRAM - SUPPLY  
SCALE: 1/4" = 1'-0"



NOTE:  
THIS DRAWING IS A COMPOSITE SECTION TO GRAPHICALLY REPRESENT PLUMBING RUNS & IS NOT INTENDED TO BE A TRUE SECTION THROUGH ANY ONE PART OF THE BUILDING. ALL NEW PLUMBING SHALL COMPLY WITH ALL APPLICABLE CODES & SHALL HAVE A NEAT FINISHED APPEARANCE.

2 PLUMBING RISER DIAGRAM - WASTE  
SCALE: 1/4" = 1'-0"

BOLDER  
DESIGN / BUILD  
L.L.C.

DAVID TODER  
ARCHITECT / CRAFTSMAN

298 Ptatarech Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

PROJECT # 07-26 DATE: 3/28/08



ELECTRICAL EQUIPMENT LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SURFACE MOUNT LIGHT		DUPLEX RECEPTACLE W/ COVER PLATE - 20 AMP.
	SURFACE MOUNT 'SCHOOLHOUSE' LIGHT - REJUVENATION LIGHTING (808-401 - 1900) FIXTURE AA5348 ROSE CITY 36" LONG IN POLISHED NICKEL FINISH WITH SHADE BD7470 12" OPAL		DUPLEX RECEPTACLE W/ GROUND FAULT CIRCUIT INTERRUPTER W/ COVER PLATE - 20 AMP.
	SURFACE MOUNT TRACK LIGHT - TIELLA LIGHTING THRU ULSTER LIGHTING, KINGSTON (331-2920) 800RLSRT30DS TRANSFORMER, 800RLBHS605 RAIL, (2) 800RLCCAPS ENDCAPS, (2) 800RLS045 STANDOFFS, (4) 800RLD5CS DISC FIXTURES 4 HALOGEN BULBS		220 VOLT APPLIANCE RECEPTACLE TO DEDICATED CIRCUIT
	SURFACE MOUNT CEILING FAN / LIGHT		SMOKE DETECTOR - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	WALL MOUNT SCONCE LIGHT		COMBINATION SMOKE & CARBON MONOXIDE DETECTOR - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	EXHAUST FAN / LIGHT		HEAT DETECTOR - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	SINGLE POLE SWITCH W/ COVER PLATE		EMERGENCY EXIT SIGN & LIGHTS - BATTERY BACK-UP & INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	DIMMER SWITCH W/ COVER PLATE - MAGNETIC		FIRE ALARM HORN & STROBE LIGHT - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	THREE WAY SWITCH W/ COVER PLATE		THERMOSTAT - PROGRAMMABLE FOR DIFFERENT TEMPERATURE SETTINGS AT DIFFERENT TIMES OF DAY
	FAN SWITCH W/ COVER PLATE		HVAC REGISTER - LOCATION & NUMBER OF REGISTERS TO BE CONFIRMED BY HVAC PROFESSIONAL
	RED ALARM PULL BOX - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS		ELECTRICAL PANEL

- GENERAL NOTES**
- ELECTRICAL WORK TO COMPLY WITH ALL APPLICABLE CODES & REGULATIONS.
  - CONTRACTOR WILL PROVIDE ALL BULBS, LIGHT FIXTURES & OTHER LIGHTING ELEMENTS & INSTALL ALL ELEMENTS. COVERPLATES TO BE WHITE. FIXTURES TO BE WHITE AND/OR CHROME / NICKEL.
  - ALL LIGHTS IN CLOSETS TO HAVE ENCLOSED GLOBE FIXTURES.
  - PROVIDE ELEC. SUPPLY AS REQUIRED TO ALL APPLIANCES & MECHANICAL UNITS INCLUDING RANGES, DISHWASHERS, REFRIGERATORS & STACK WASHER / DRYERS.
  - COORDINATE ELECTRICAL PLANS WITH EXISTING ELECTRICAL ELEMENTS AS REQUIRED.
  - OWNER'S ALARM CONTRACTOR SHALL PROVIDE ALL SYSTEM DOCUMENTATION, ELEMENTS & WIRING AS REQUIRED. EXISTING SYSTEMS SHALL BE RETAINED & INTERCONNECTED WITH NEW SYSTEMS OR SUPPLEMENTED OR REPLACED AS REQUIRED. CONTRACTOR TO CO-ORDINATE AS REQUIRED.

**ALTERATION  
FOR**

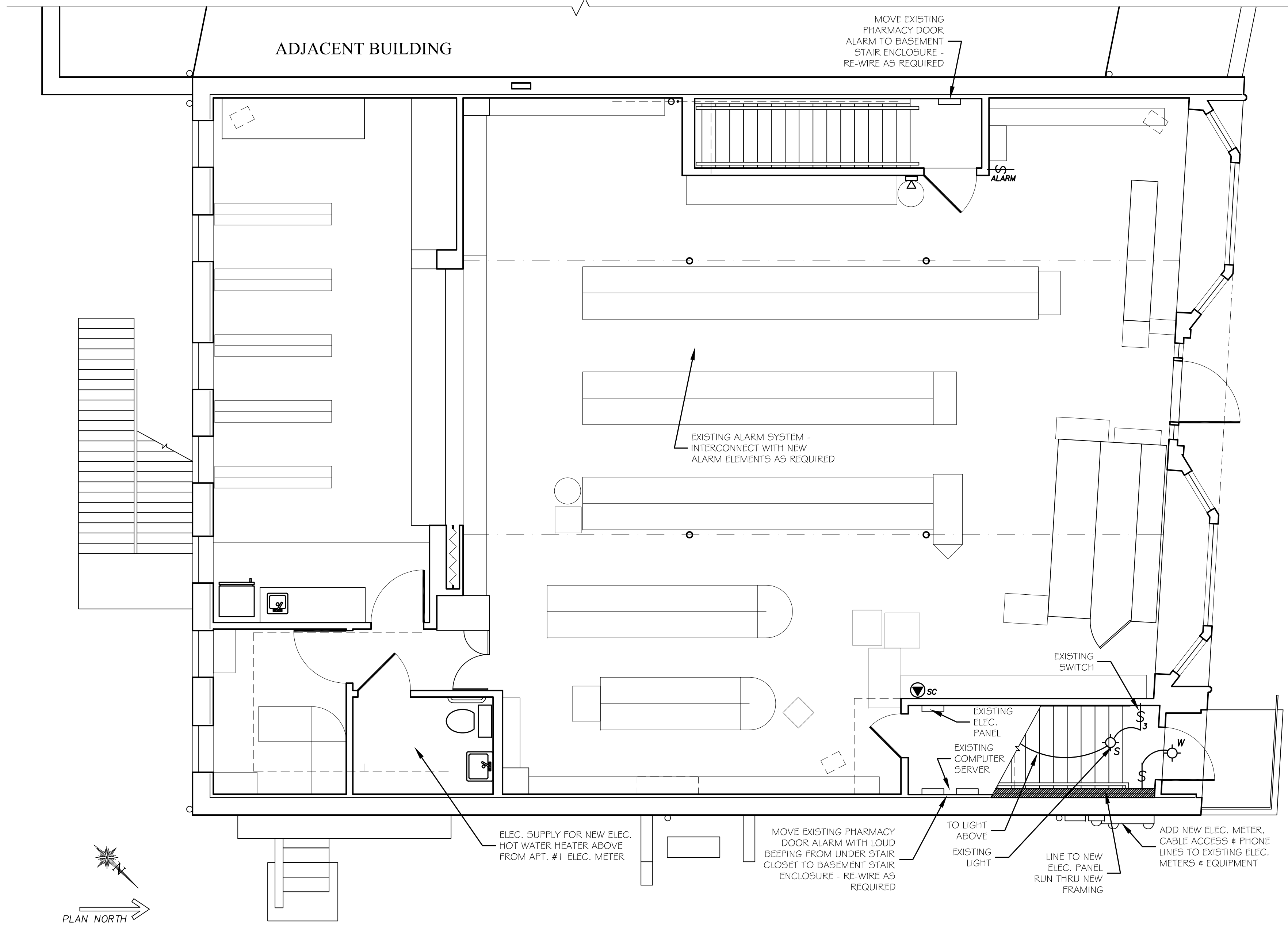
**WILLIAM HALSTEAD  
PHARMACY APARTMENTS**

**60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK**

**TOWN OF LLOYD**

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER INFORMATION INCLUDED IN THESE DOCUMENTS IF THESE PLANS HAVE BEEN AFFIXED WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION
# 1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - A02



**1** FIRST FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

**BOLDER  
DESIGN / BUILD  
L.L.C.**

DAVID TODER  
ARCHITECT / CRAFTSMAN

298 Platarch Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

PROJECT # 07-26 DATE: 3/28/08

**E01**

ELECTRICAL PLANS

ELECTRICAL EQUIPMENT LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SURFACE MOUNT LIGHT		DUPLEX RECEPTACLE W/ COVER PLATE - 20 AMP.
	SURFACE MOUNT 'SCHOOLHOUSE' LIGHT - REJUVENATION LIGHTING (828-401-1900) FIXTURE AA5348 ROSE CITY 36" LONG IN POLISHED NICKEL FINISH WITH SHADE BD7470 12" OPAL		DUPLEX RECEPTACLE W/ GROUND FAULT CIRCUIT INTERRUPTER W/ COVER PLATE - 20 AMP.
	SURFACE MOUNT TRACK LIGHT - TIELLA LIGHTING THRU ULSTER LIGHTING, KINGSTON (31-2920) 800RLSRT30DS TRANSFORMER, 800RLBMSG05 RAIL, (2) 800RLCCAPS ENDCAPS, (2) 800RLS045 STANDOFFS, (4) 800RLD5CS DISC FIXTURES 4 HALOGEN BULBS		220 VOLT APPLIANCE RECEPTACLE TO DEDICATED CIRCUIT
	SURFACE MOUNT CEILING FAN / LIGHT		COMMUNICATIONS OUTLET - PHONE, CABLE, DATA - PROVIDE 1 PHONE LINE 4 1 CO-AXIAL CABLE - RUN ALL TO PHONE / CABLE INTERFACE JUNCTION - PROVIDE TERMINATION WITH 1 PHONE PORT 4 1 CABLE PORT
	WALL MOUNT SCONCE LIGHT		SMOKE DETECTOR - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	EXHAUST FAN / LIGHT		COMBINATION SMOKE 4 CARBON MONOXIDE DETECTOR - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	SINGLE POLE SWITCH W/ COVER PLATE		HEAT DETECTOR - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	DIMMER SWITCH W/ COVER PLATE - MAGNETIC		EMERGENCY EXIT SIGN 4 LIGHTS - BATTERY BACK-UP 4 INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	THREE WAY SWITCH W/ COVER PLATE		FIRE ALARM HORN 4 STROBE LIGHT - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	FAN SWITCH W/ COVER PLATE		THERMOSTAT - PROGRAMMABLE FOR DIFFERENT TEMPERATURE SETTINGS AT DIFFERENT TIMES OF DAY
	RED ALARM PULL BOX - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS		HVAC REGISTER - LOCATION 4 NUMBER OF REGISTERS TO BE CONFIRMED BY HVAC PROFESSIONAL
			ELECTRICAL PANEL

- GENERAL NOTES**
- ELECTRICAL WORK TO COMPLY WITH ALL APPLICABLE CODES 4 REGULATIONS.
  - CONTRACTOR WILL PROVIDE ALL BULBS, LIGHT FIXTURES 4 OTHER LIGHTING ELEMENTS 4 INSTALL ALL ELEMENTS. COVERPLATES TO BE WHITE. FIXTURES TO BE WHITE AND/OR CHROME / NICKEL.
  - ALL LIGHTS IN CLOSETS TO HAVE ENCLOSED GLOBE FIXTURES.
  - PROVIDE ELEC. SUPPLY AS REQUIRED TO ALL APPLIANCES 4 MECHANICAL UNITS INCLUDING RANGES, DISHWASHERS, REFRIGERATORS 4 STACK WASHER / DRYERS.
  - COORDINATE ELECTRICAL PLANS WITH EXISTING ELECTRICAL ELEMENTS AS REQUIRED.
  - OWNER'S ALARM CONTRACTOR SHALL PROVIDE ALL SYSTEM DOCUMENTATION, ELEMENTS 4 WIRING AS REQUIRED. EXISTING SYSTEMS SHALL BE RETAINED 4 INTERCONNECTED WITH NEW SYSTEMS OR SUPPLEMENTED OR REPLACED AS REQUIRED. CONTRACTOR TO CO-ORDINATE AS REQUIRED.

**ALTERATION  
FOR**

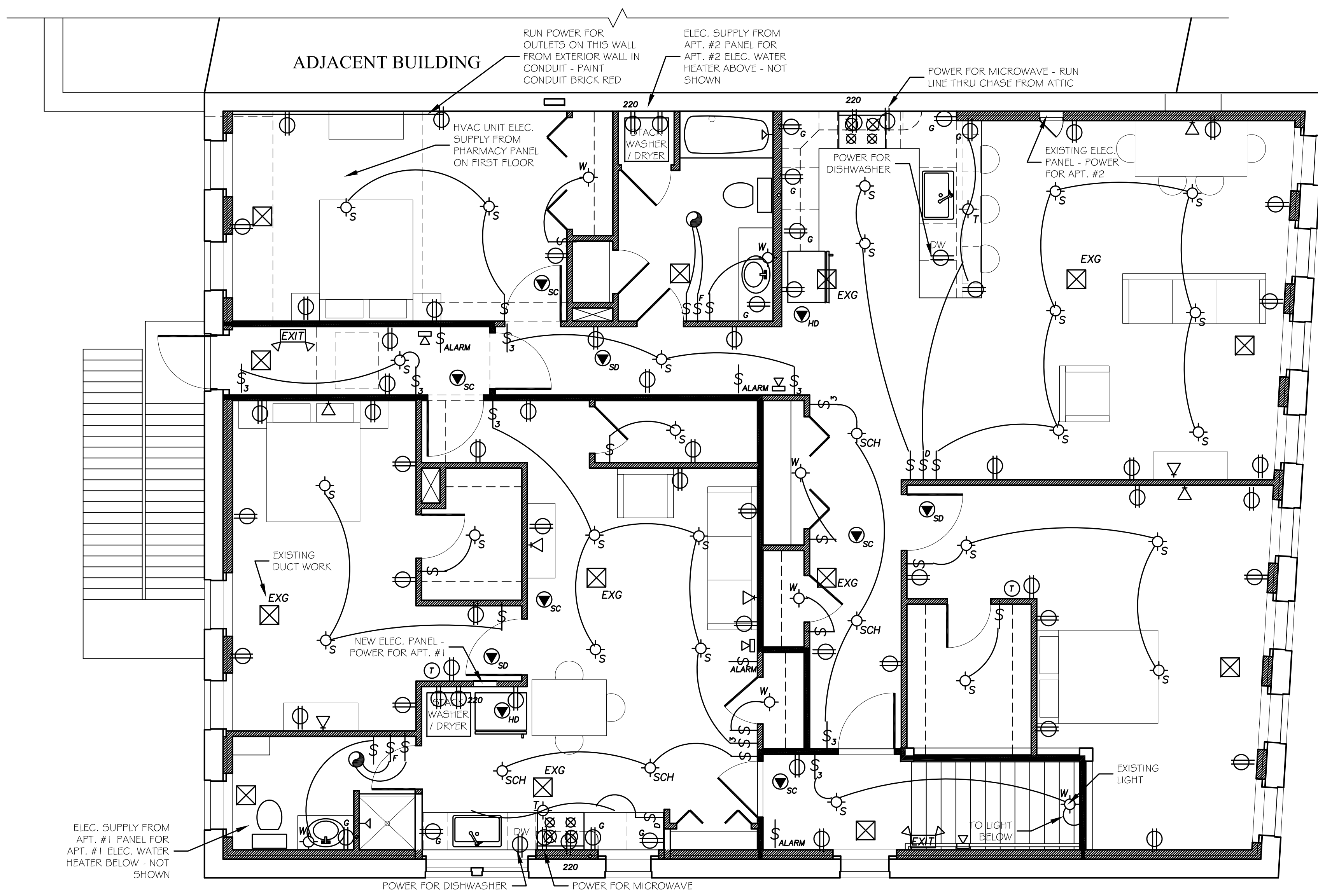
**WILLIAM HALSTEAD  
PHARMACY APARTMENTS**

**60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK**

**TOWN OF LLOYD**

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER INFORMATION INCLUDED IN THESE DOCUMENTS IF THESE PLANS HAVE BEEN AFFIXED WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION
# 1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - A02



**1 SECOND FLOOR ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

**BOLDER  
DESIGN / BUILD  
L.L.C.**

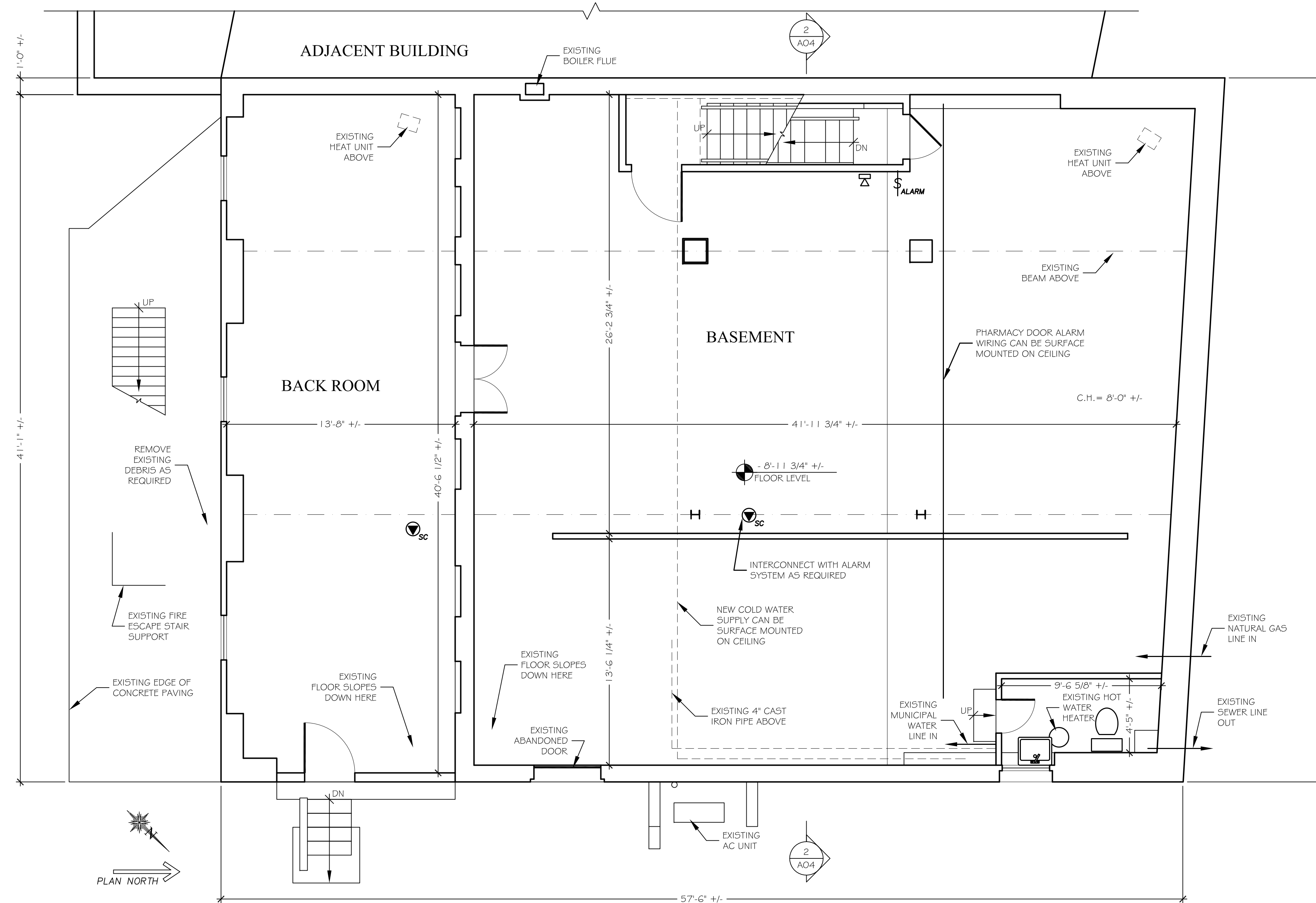
DAVID TODER  
ARCHITECT / CRAFTSMAN

298 Pintarech Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

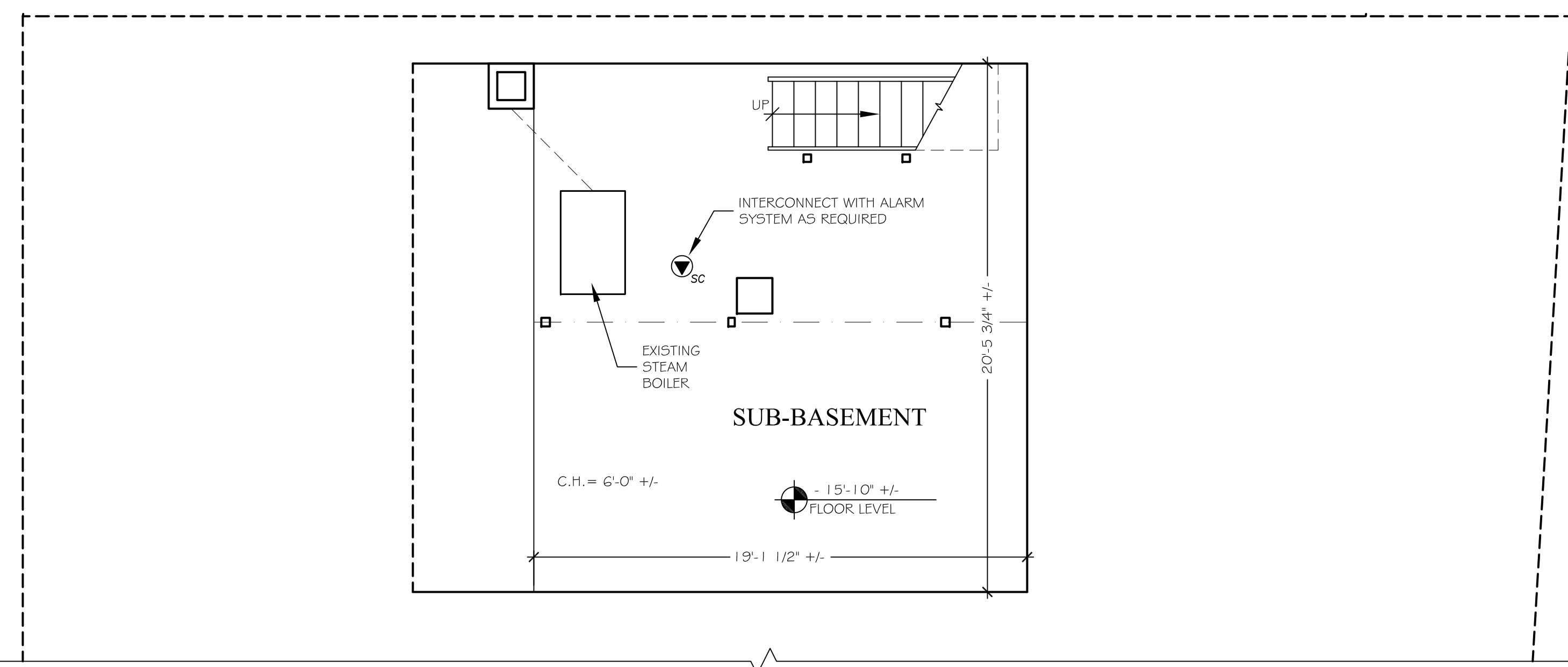
PROJECT # 07-26 DATE: 3/28/08

**E02**

ELECTRICAL PLANS



**1** BASEMENT ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



**2** SUB-BASEMENT ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

ELECTRICAL EQUIPMENT LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SURFACE MOUNT LIGHT		DUPLEX RECEPTACLE W/ COVER PLATE - 20 AMP.
	SURFACE MOUNT 'SCHOOLHOUSE' LIGHT - REJUVENATION LIGHTING (888-401-1900) FIXTURE AA5348 ROSE CITY 36" LONG IN POLISHED NICKEL FINISH WITH SHADE BD7470 12" OPAL		DUPLEX RECEPTACLE W/ GROUND FAULT CIRCUIT INTERRUPTER W/ COVER PLATE - 20 AMP.
	SURFACE MOUNT TRACK LIGHT - TIELLA LIGHTING THRU ULSTER LIGHTING, KINGSTON (33 1-2920) 800RL5RT30D5 TRANSFORMER, 800RLBH5G605 RAIL, (2) 800RLCCAP5 ENDCAPS, (2) 800RL5045 STANDOFFS, (4) 800RLD5C5 DISC FIXTURES & HALOGEN BULBS		220 VOLT APPLIANCE RECEPTACLE TO DEDICATED CIRCUIT
	SURFACE MOUNT CEILING FAN / LIGHT		COMMUNICATIONS OUTLET - PHONE, CABLE, DATA - PROVIDE 1 PHONE LINE & 1 CO-AXIAL CABLE - RUN ALL TO PHONE / CABLE INTERFACE JUNCTION - PROVIDE TERMINATION WITH 1 PHONE PORT & 1 CABLE PORT
	WALL MOUNT SCONCE LIGHT		SMOKE DETECTOR - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	EXHAUST FAN / LIGHT		COMBINATION SMOKE & CARBON MONOXIDE DETECTOR - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	SINGLE POLE SWITCH W/ COVER PLATE		HEAT DETECTOR - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	DIMMER SWITCH W/ COVER PLATE - MAGNETIC		EMERGENCY EXIT SIGN & LIGHTS - BATTERY BACK-UP & INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	THREE WAY SWITCH W/ COVER PLATE		FIRE ALARM HORN & STROBE LIGHT - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	FAN SWITCH W/ COVER PLATE		THERMOSTAT - PROGRAMMABLE FOR DIFFERENT TEMPERATURE SETTINGS AT DIFFERENT TIMES OF DAY
	RED ALARM PULL BOX - INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS		HVAC REGISTER - LOCATION & NUMBER OF REGISTERS TO BE CONFIRMED BY HVAC PROFESSIONAL
			ELECTRICAL PANEL

ALTERATION  
FOR  
**WILLIAM HALSTEAD  
PHARMACY APARTMENTS**  
60-62 VINEYARD AVENUE  
HIGHLAND, NEW YORK  
TOWN OF LLOYD

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER INFORMATION INCLUDED IN THESE DOCUMENTS IF THESE PLANS HAVE BEEN AFFIXED WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION #	DATE	DESCRIPTION
# 1	3/28/08	FRONT APARTMENT CHANGED TO 2 BEDROOM - AO2

**BOLDER DESIGN / BUILD  
L.L.C.**  
DAVID TODER  
ARCHITECT / CRAFTSMAN  
298 Phareah Road  
Highland, New York 12528  
845-532-8354 fax 845-255-2548  
BolderDesign@aol.com BolderDesignBuild.com

PROJECT # 07-26 DATE: 3/28/08

**E03**  
ELECTRICAL PLANS