

COMMERCIAL RENOVATION for Wrapsody Grill & Market

43 Raymond Avenue Poughkeepsie, New York - Town of Poughkeepsie

COMMERCIAL RENOVATION
FOR

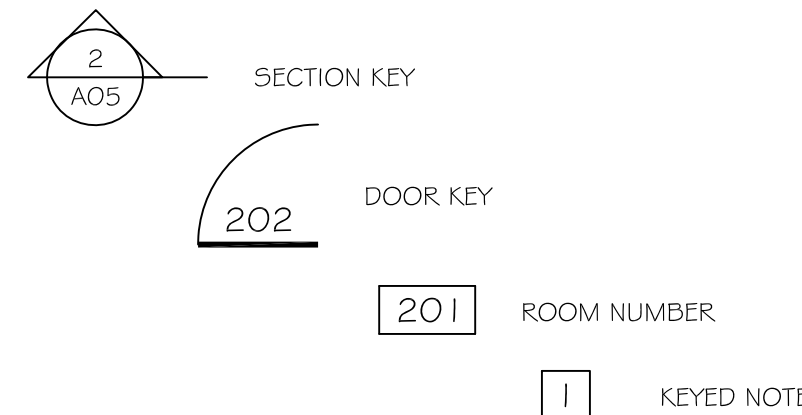
WRAPSODY GRILL & MARKET

43 RAYMOND AVE
POUGHKEEPSIE, NEW YORK
TOWN OF POUGHKEEPSIE

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INFORMATION INCLUDED IN THESE DOCUMENTS
IF THESE PLANS HAVE BEEN AFFIXED
WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION

ABBREVIATIONS & SYMBOLS



A.F.F.	ABOVE FINISH FLOOR
ALUM	ALUMINUM
AMP	AMPERE
APPROX.	APPROXIMATELY
C.H.	CEILING HEIGHT
CL	CLOSET
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CT	CERAMIC TILE
DN	DOWN
DW	DISHWASHER
ELEC	ELECTRIC / ELECTRICAL
ELEV	ELEVATION
EQ.	EQUAL
EXG	EXISTING
FL	FLOOR
FT	FEET
GALV.	GALVANIZED
GWB	GYPSON WALL BOARD - SHEETROCK
HB	HOSE BIB - FROST FREE
INSUL	INSULATION
INT. ELEV.	INTERIOR ELEVATION
LED	LIGHT EMITTING DIODE
LVL	LAMINATED VENEER LUMBER
MARB	MARBLE
MAX.	MAXIMUM
MECH.	MECHANICAL
MIL	MILLIMETER
MIN.	MINIMUM
M.O.	MASONRY OPENING
MR. GWB	MOISTURE RESISTANT GYPSON WALL BOARD
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OSB	ORIENTED STRAND BOARD
PLY	PLYWOOD
POLY	POLYURETHANE
PREP	PREPARE
P5F	POUNDS PER SQUARE FOOT
P5I	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
REQ.	REQUIRED
R.O.	ROUGH OPENING
R.O.B.	RUN OF BANK
SF	SQUARE FEET
SPF	SPRUCE-PINE-FIR
TBD	TO BE DETERMINED
T&G	TONGUE & GROOVE
THRU	THROUGH
TYP.	TYPICAL
VCB	VINYL COVE BASE
V5F	VINYL SHEET FLOORING
V.I.F.	VERIFY IN FIELD
W	WITH
WD	WOOD
W.W.M.	WOVEN WIRE MESH

CODE REVIEW

The existing building is Type III construction with masonry exterior walls and wood frame interior walls. The existing and new use is occupancy type Group M, Mercantile, including retail and markets (NYS Building Code 309.1, p.30). The existing and new total occupant load is less than 100, thus a fire alarm or fire detection system is not required for this use and occupancy (F907.2.7.2, p.170).

The dining portion of the business will maintain the existing occupant load of less than 50, which does not change the use classification (BC 303.1, p.18). The historic and continuing use of the cellar is as storage for the business above, and thus it can continue being used that way (Existing Building Code 102.8, p.1).

The work being done in the cellar is an Alteration - Level 1 (ExgBC 303, p.5) and only has to maintain the existing level of fire protection (ExgBC 504.1, p.11).

The work being done on the first floor is an Alteration - Level 2 (ExgBC 304, p.5) and the requirements are specifically limited to Level 2 Alteration work areas (ExgBC 603.1, p.15; 604.1, p.17)

2 exits are required (ExgBC 605.3, p.19; BC 1014.1, Table 1014.1, p.204).

Level 2 Alterations need to comply with ExgBC 506 for Accessibility (ExgBC 606.1, p.24). If it is infeasible to alter existing toilet facilities to be accessible, then a new accessible unisex toilet room in the same area on the same floor is permitted (ExgBC 506.1.9, p.12). If the new occupant load is less than 20% greater than the previous occupant load, then providing plumbing fixtures as specified by current Building Code is not required (ExgBC 610, p.26).

Occupant Load Calculations:

43 Raymond Avenue is approximately 2340 sf (gross) on each floor. Mercantile use assumes an occupancy load of 30 sf / person, and has a category for Storage, stock and shipping areas at 300 sf / person. There is also a separate category for commercial kitchen at 200 sf / person (BC Table 1004.1.2, p.189). The cellar, including exterior walls, therefore has an occupant load of 8 people by code. The commercial kitchen, not including deli area or prep area, is 334 sf, for an occupancy of 2. The prep area, stair, and cooler/freezer other than 2' of access for patrons from the doors, is properly considered 'storage, stock', not accessible to the public. At 470 sf, and 300 sf / person, that area has an occupant load of 2 people. This leaves 1536 sf mercantile; at 30 sf / person, that yields 52, for a grand total of 64.

However, in the 440 sf dining area that would have 15 occupants at 30 sf / person, we show 32 seats and we are allowed 49 within the mercantile occupancy. This maximization of occupant load yields 49 dining patrons and 1096 sf of mercantile space (including the office) with an occupant load of 37 (Actual number, BC 1004.1.1, p.189). This yields a maximum grand total of 98 occupants.

The previous occupant load is not recorded, however the new layout is a similar use of space. The previous commercial kitchen was smaller, but the retail and dining portions were close in square footage to the new size of those areas. The previous occupant load would have had to be 81 or lower for the new occupant load of 98 to be 20% higher.

ENERGY CONSERVATION

THE EXISTING COMMERCIAL BUILDING ALTERATION DESCRIBED IN THESE DRAWINGS COMPLIES WITH ALL APPLICABLE REQUIREMENTS OF THE 2007 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE CHAPTER 8 BUILDING DESIGN FOR COMMERCIAL BUILDINGS AS SPECIFIED IN SECTION 101.4.2 EXISTING BUILDINGS & TABLE 802.2(4) BUILDING ENVELOPE REQUIREMENTS FOR CLIMATE ZONE 13A. WINDOW & GLAZED DOOR AREA GREATER THAN 25% BUT NOT GREATER THAN 40% OF ABOVE-GRADE WALL AREA.

	REQUIRED	ACTUAL
BELOW GRADE WALL	R-VALUE MIN. R-8	EXISTING OR 0.4 MAX.
WINDOWS & GLASS DOORS	U-FACTOR MAX. 0.4	EXISTING OR R-36
WOOD JOIST ROOF	R-VALUE MIN. R-30	EXISTING OR R-13
ABOVE GRADE MASONRY WALL	R-VALUE MIN. NA, R-5, R-11	

CLIMATE & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
55 P5F	90 MPH	B	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	2	YES	9/8/99

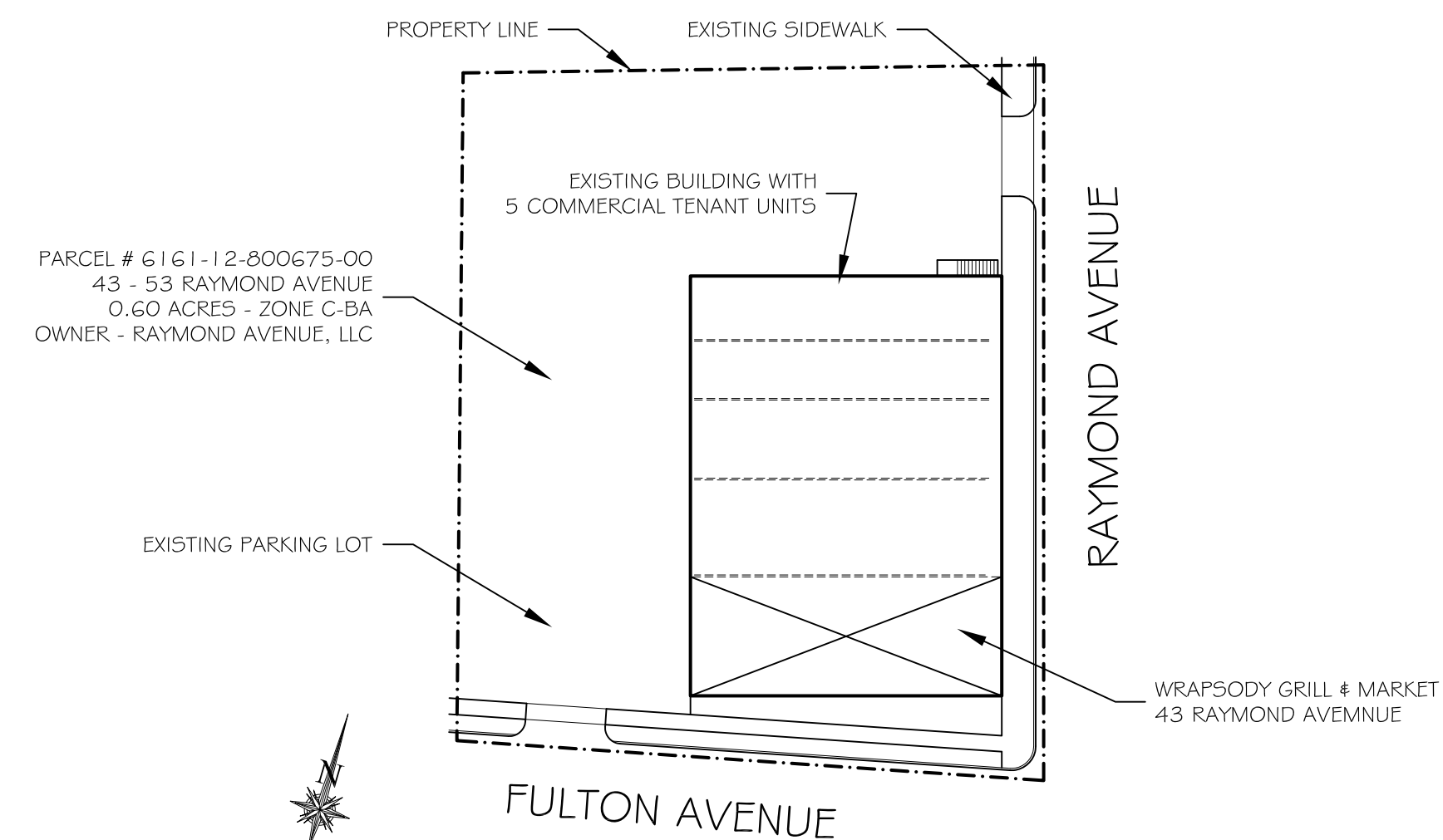
DRAWING LIST

- TO1 TITLE SHEET WITH CODE REVIEW
- A01 EXISTING & PROPOSED FIRST FLOOR PLANS, SCHEDULES & INTERIOR ELEVATIONS
- A02 EXISTING & PROPOSED CELLAR PLANS & BUILDING SECTION
- A03 PLUMBING RISER DIAGRAMS
- E01 FIRST FLOOR & CELLAR ELECTRICAL PLANS

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION NOT SPECIFICALLY ADDRESSED IN THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH THE MINIMUM STANDARDS OF THE BUILDING CODE OF NEW YORK STATE. THE NYS ENERGY CONSERVATION CODE, THE TOWN OF POUGHKEEPSIE, THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE NYS BOARD OF FIRE UNDERWRITERS.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL CONSTRUCTION DEBRIS.

SITE PLAN



1 SITE PLAN
SCALE: 1" = 40'

THIS SITE PLAN IS SCHEMATIC IN NATURE AND IS NOT INTENDED FOR USE AS A FORMAL SURVEY.

BOLDER ARCHITECTURE

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PROJECT # 08-40 DATE: 4/27/09

T01

TITLE SHEET

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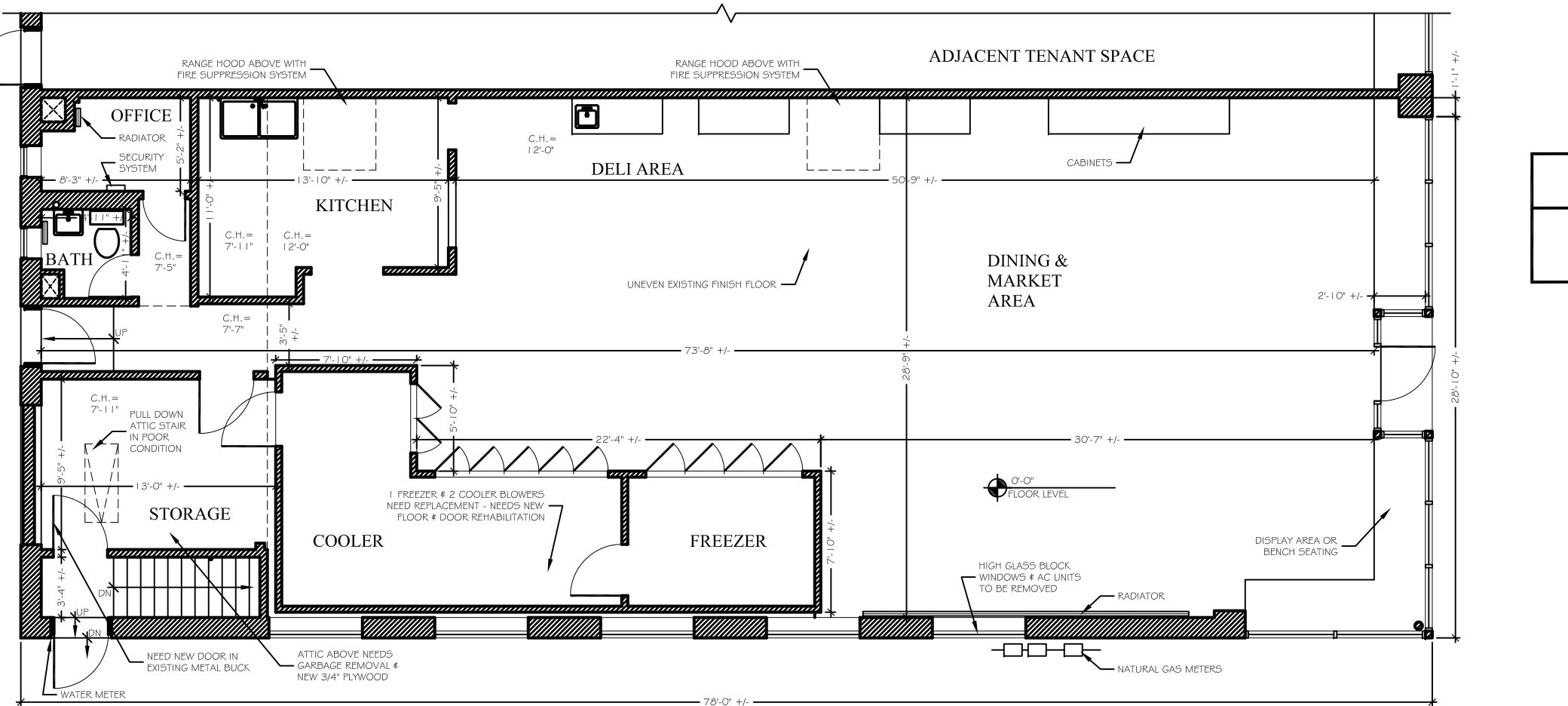
REVISION	DATE	DESCRIPTION

DOOR #	DOOR					FRAME		SADDLE	HARDWARE GROUP	NOTES
	NOMINAL SIZE WIDTH x HEIGHT x THICKNESS	MATERIAL	TYPE	GLASS	FIRE RATING	MATERIAL	DETAIL	MATERIAL		
101	3'-0" x 6'-8" x 1 3/4"	STEEL	---	---	---	STEEL	---	---	A	EXISTING METAL DOOR BUCK TO REMAIN
102	3'-0" x 6'-8" x 1 3/4"	STEEL	---	---	YES	STEEL	---	ALUM	F	INSULATED 1/2 GLASS DOOR WITH 2 EMBOSSED PANELS BELOW - EGRESS
103	3'-0" x 6'-8" x 1 3/4"	MAS	---	---	---	WD	---	---	B	
104	3'-0" x 6'-8" x 1 3/4"	MAS	---	---	YES	WD	---	---	D	PAIR OF (2) 1'-6" x 6'-8" DOORS
105	3'-0" x 6'-8" x 1 3/4"	MAS	---	---	---	WD	---	---	D	PAIR OF (2) 1'-6" x 6'-8" DOORS
106	2'-4" x 6'-8" x 1 3/8"	MAS	---	---	YES	WD	---	---	E	
107	2'-4" x 6'-8" x 1 3/8"	MAS	---	---	---	WD	---	---	C	
108	3'-0" x 6'-8" x 1 3/8"	MAS	---	---	---	WD	---	---	B	

GENERAL NOTES	DOOR HARDWARE
1. --- = NOT APPLICABLE, ALUM = ALUMINUM, FBG = FIBERGLASS, MARB = MARBLE, MAS = MASONITE, VY = VINYL, WD = WOOD.	A. (3) HINGES, (1) ENTRANCE LOCK SET WITH ADA HANDLES, WEATHERSTRIPPING
2. ALL INTERIOR DOORS SHALL BE 4-PANEL SOLID-CORE MASONITE, PAINTED WHITE, UNLESS OTHERWISE NOTED.	B. (3) HINGES, (1) ADA HANDLE PAIR WITH PUSH BUTTON BED / BATH PRIVACY LOCK, (1) STAINLESS STEEL KICK PLATE ON PUSH SIDE OF DOOR, (1) SELF-CLOSER
3. CONFIRM DOOR SIZES, SWINGS & HARDWARE PRIOR TO ORDERING.	C. (3) HINGES, (1) ADA HANDLE PAIR WITH KEYED PUSH BUTTON PRIVACY LOCK, (1) STAINLESS STEEL KICK PLATE ON PUSH SIDE OF DOOR
4. INTERIOR DOOR HARDWARE TO HAVE BRUSHED CHROME FINISH. PROVIDE DOOR BUMPERS AS REQUIRED.	D. (6) DOUBLE-SWING HINGES WITH SELF-CLOSING FUNCTION, (4) STAINLESS STEEL KICK PLATES, (4) STAINLESS STEEL PUSH PLATES
	E. (3) DOUBLE-SWING HINGES WITH SELF-CLOSING FUNCTION, (2) STAINLESS STEEL KICK PLATES, (2) STAINLESS STEEL PUSH PLATES
	F. (3) HINGES, (1) ENTRANCE LOCK SET WITH ADA HANDLES, SELF-CLOSER, PANIC BAR EGRESS, ALUMINUM SADDLE, WEATHERSTRIPPING

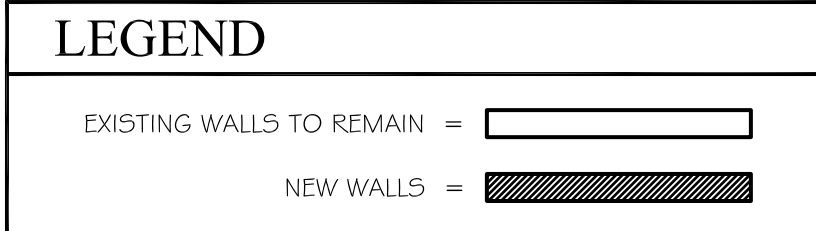
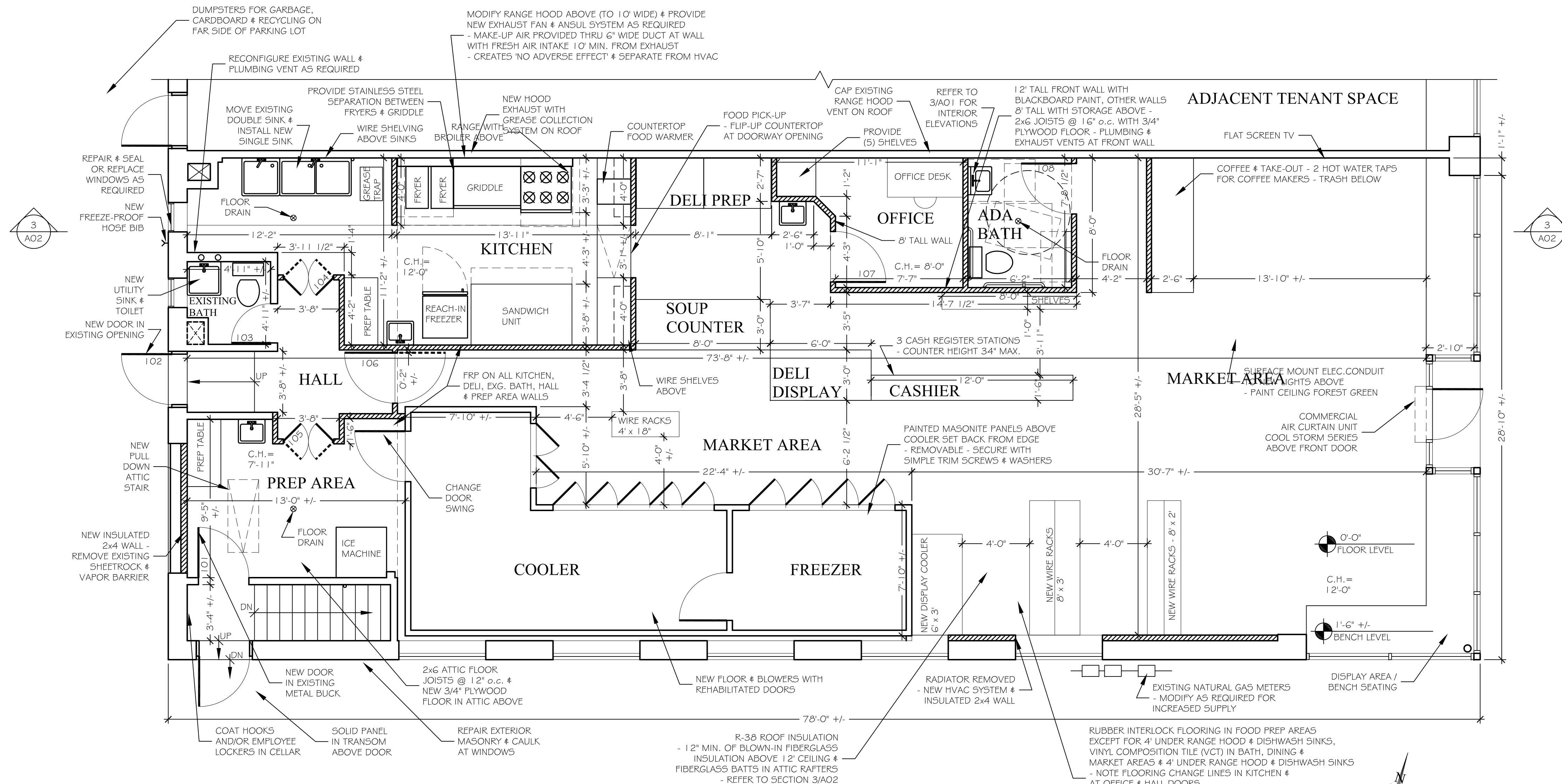
3 NEW ADA BATH PLAN & INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



- GENERAL NOTES
- ALL EXTERIOR WALLS & SOME INTERIOR WALLS EXISTING. ALL NEW INTERIOR WALLS TO BE 2x4 SFF STUDS @ 16" o.c. UNLESS OTHERWISE NOTED.
 - DIMENSIONS ARE FROM EXISTING FINISHED SURFACES TO NEW FRAMING OR FROM FRAMING TO FRAMING.
 - REMOVE OLD HEATING SYSTEM & PROVIDE NEW FORCED AIR HEATING SYSTEM WITH FRESH AIR INTAKE & EXHAUST VENTING. PROVIDE NEW HOT WATER HEATER.
 - EDGE OF NEW INTERIOR DOORS 4" FROM WALL UNLESS OTHERWISE NOTED.
 - SMOKE, CO & HEAT DETECTORS ARE NOT REQUIRED & ARE NOT CALLED FOR IN THESE DRAWINGS. IF A FIRE ALARM SYSTEM IS ADDED, IT WILL BE SHOWN ON THE ELEC. PLANS ON A REVISED SHEET ED1.

1 FIRST FLOOR PLAN

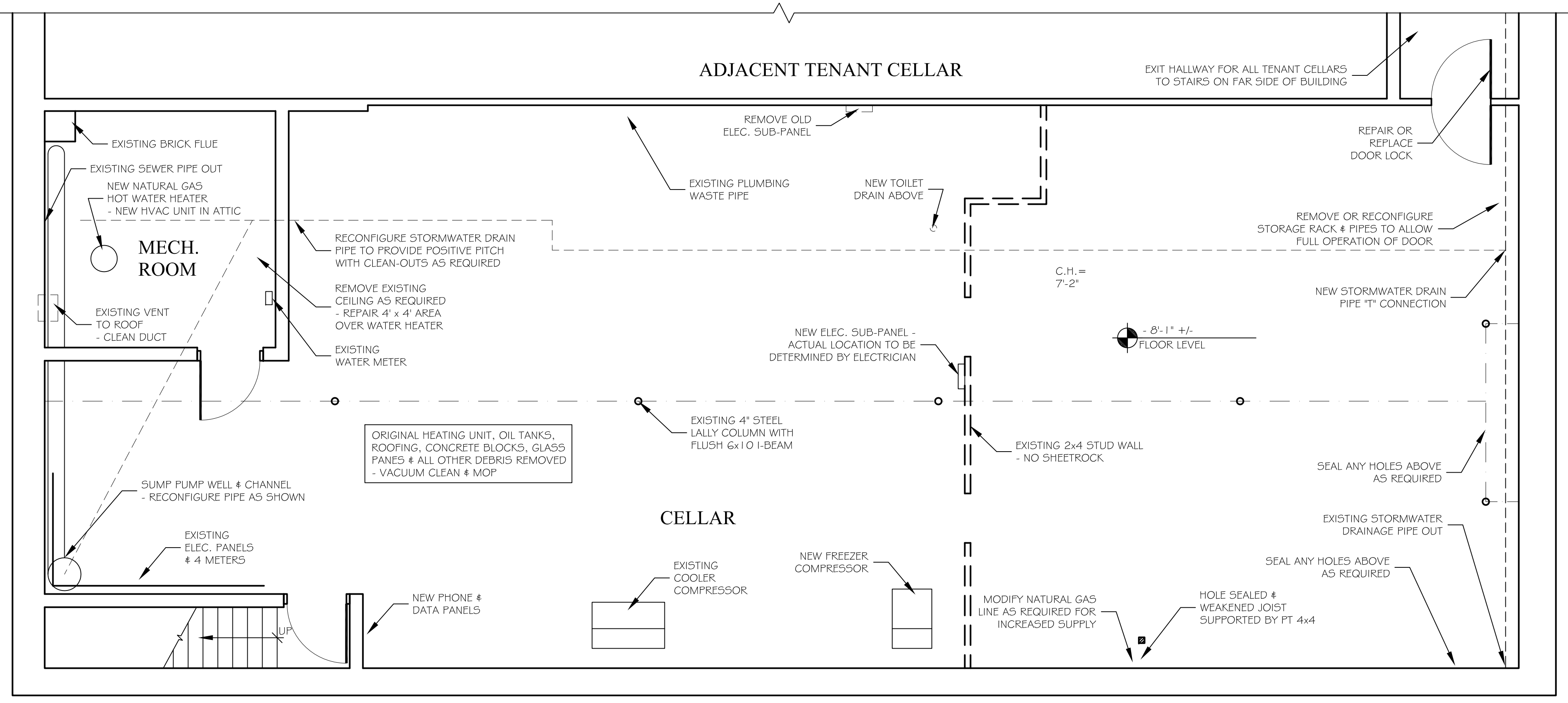
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1 **CELLAR PLAN**
SCALE: 1/8" = 1'-0"

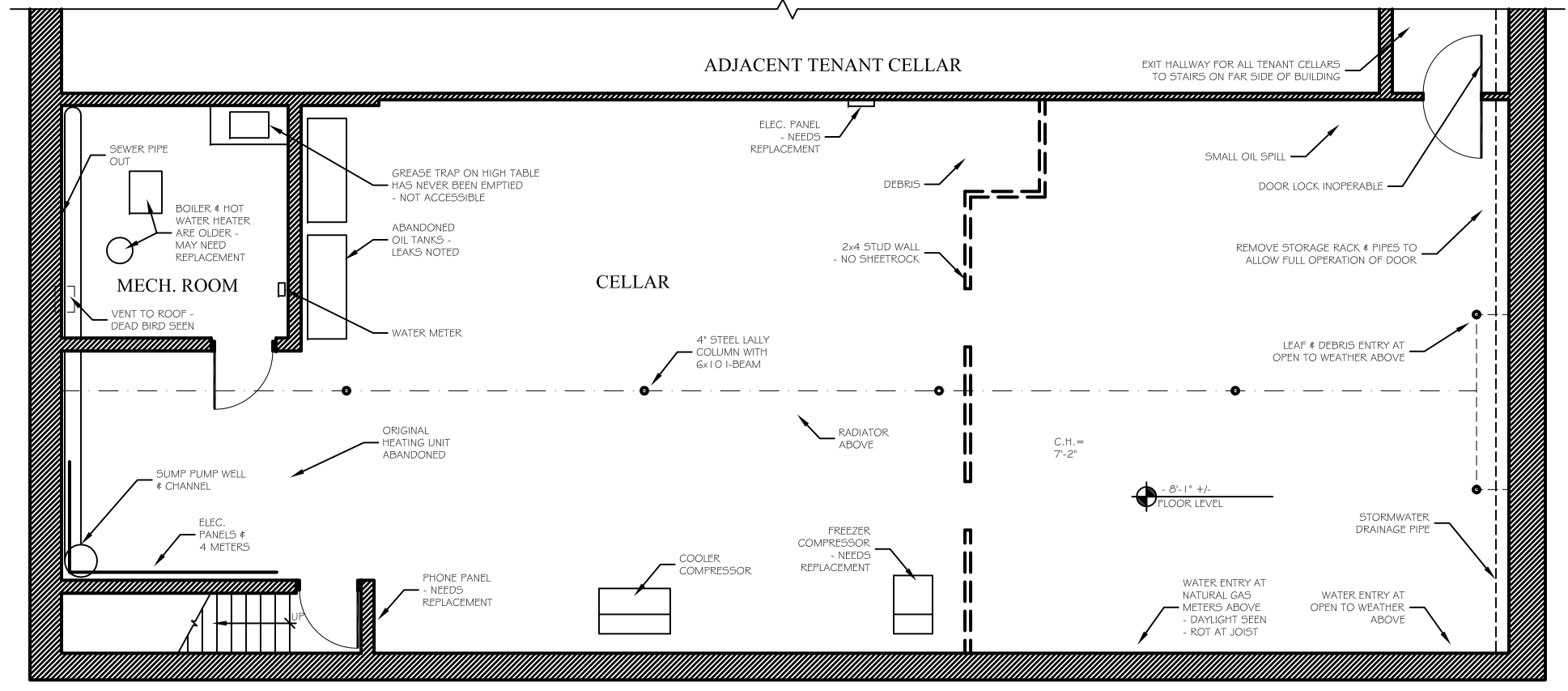
LEGEND

EXISTING WALLS TO REMAIN =

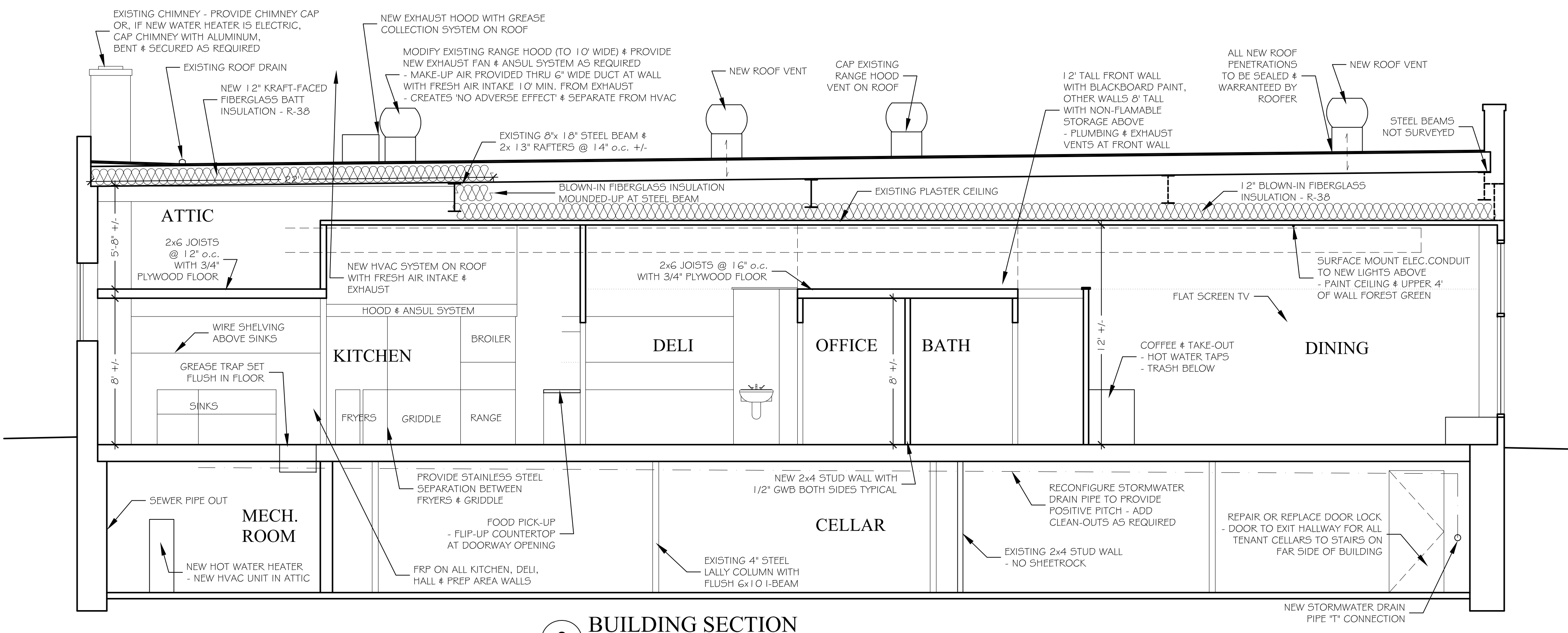
NEW WALLS =

LEGEND

EXISTING WALLS =



2 **EXISTING CELLAR PLAN**
SCALE: 1/8" = 1'-0"



3 **BUILDING SECTION**
SCALE: 1/4" = 1'-0"

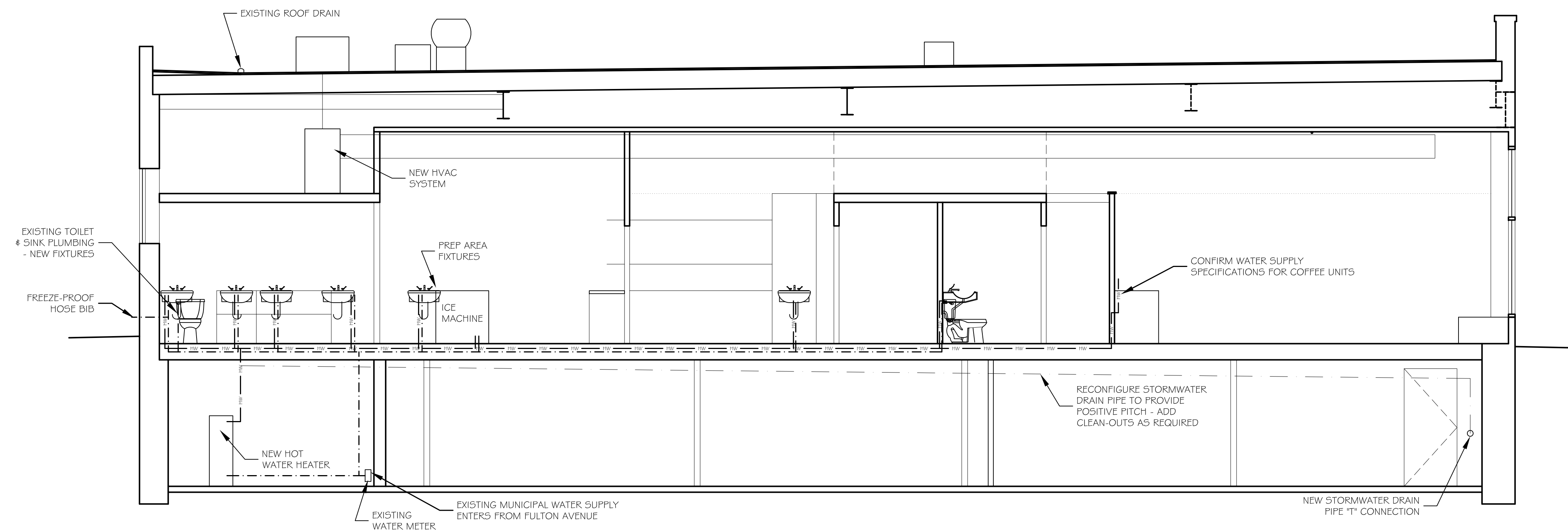
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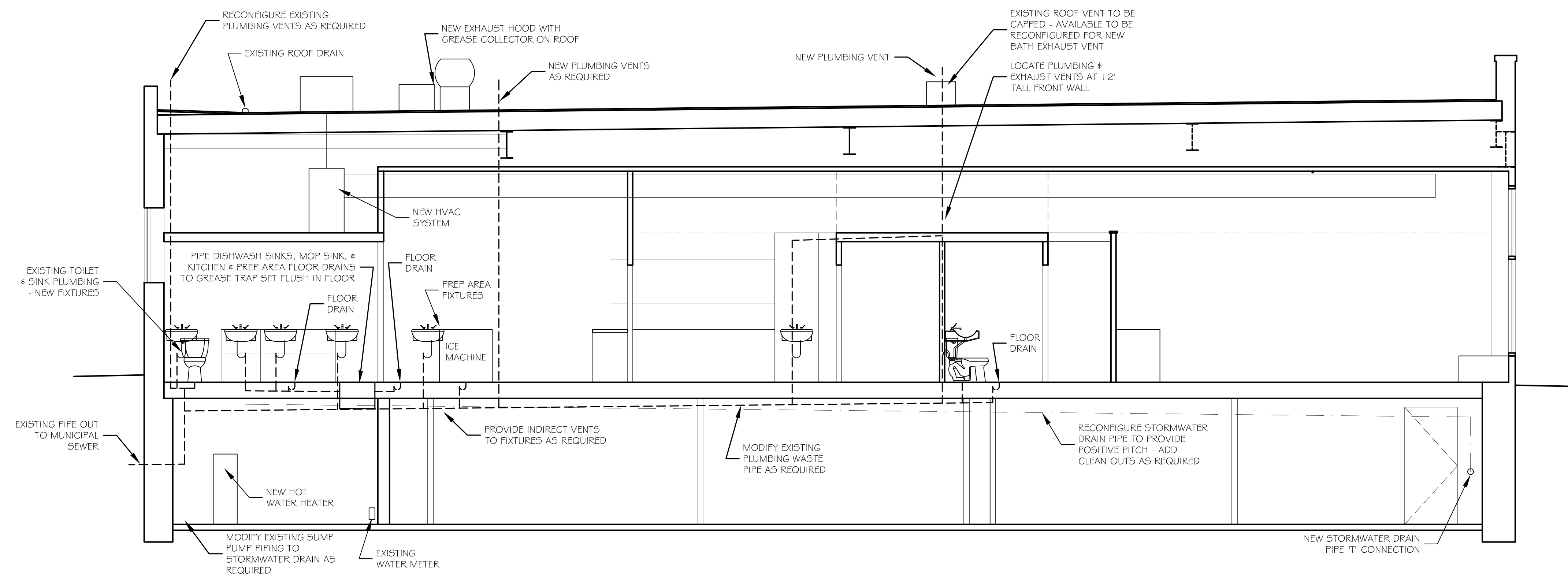
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1 PLUMBING RISER DIAGRAM - SUPPLY
SCALE: 1/4" = 1'-0"

NOTE:
THIS DRAWING IS A COMPOSITE SECTION TO GRAPHICALLY REPRESENT PLUMBING RUNS & IS NOT
INTENDED TO BE A TRUE SECTION THROUGH ANY ONE PART OF THE BUILDING. ALL NEW PLUMBING
SHALL COMPLY WITH ALL APPLICABLE CODES & SHALL HAVE A NEAT FINISHED APPEARANCE.



2 PLUMBING RISER DIAGRAM - WASTE
SCALE: 1/4" = 1'-0"

**BOLDER
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A03

PLUMBING RISER DIAGRAMS

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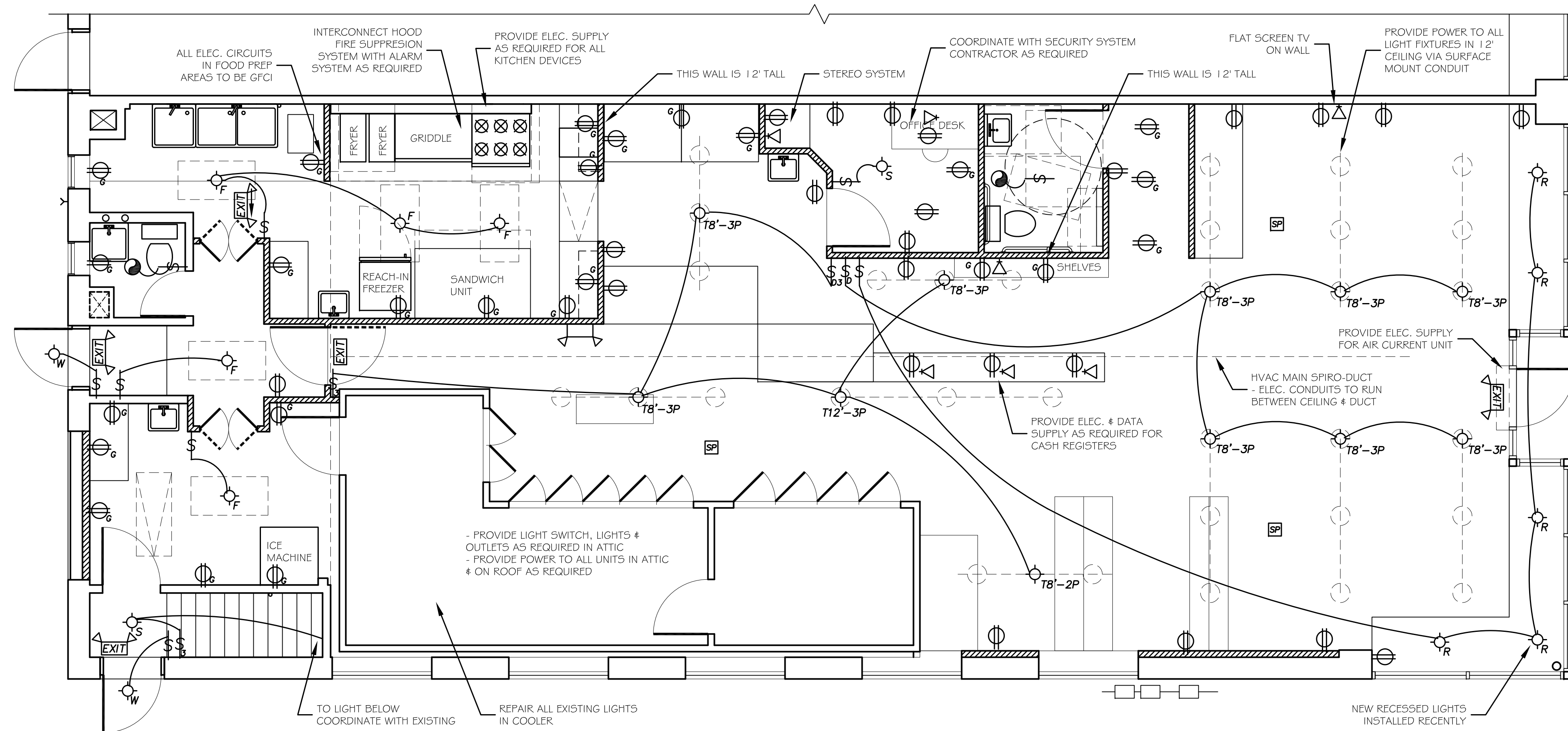
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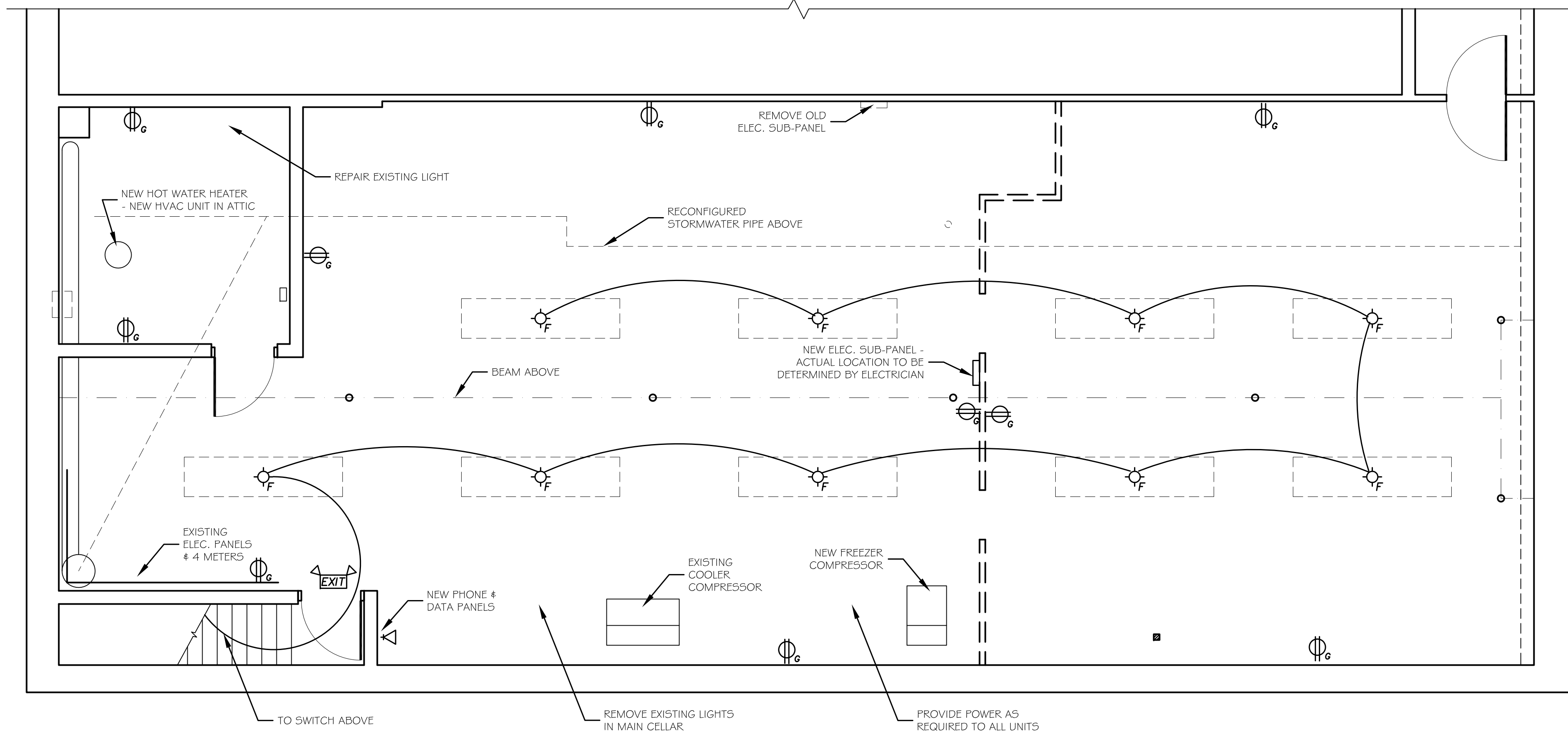
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ELECTRICAL EQUIPMENT LEGEND	
SYMBOL	DESCRIPTION
	SURFACE MOUNT LIGHT
	TRACK LIGHT - LENGTH OF TRACK INDICATED # OF PENDANT LIGHT FIXTURES
	FLUORESCENT LIGHT FIXTURES WITH SANITARY LENS - ALL FIRST FLOOR FLUORESCENT FIXTURES 2' x 4' - ALL CELLAR FLUORESCENT FIXTURES 2' x 8'
	EXTERIOR SCONCE LIGHT
	RECESSED LIGHT
	EXHAUST FAN / LIGHT - FAN & LIGHT ON SINGLE SWITCH
	COMMUNICATIONS OUTLET - PHONE, CABLE, DATA - PROVIDE 1 PHONE LINE & 1 CO-AXIAL CABLE - CAT V - RUN ALL TO PHONE / CABLE INTERFACE JUNCTION
	SPEAKER - STEREO LOCATED AT OFFICE SHELVES
	SINGLE POLE SWITCH W/ COVER PLATE
	THREE WAY SWITCH W/ COVER PLATE
	DIMMER SWITCH W/ COVER PLATE - MAY NEED TO BE MAGNETIC DIMMER UNIT
	TIMER SWITCH W/ COVER PLATE
	DUPLEX RECEPTACLE W/ COVER PLATE - 20 AMP.
	DUPLEX RECEPTACLE W/ GROUND FAULT CIRCUIT INTERRUPTER W/ COVER PLATE - 20 AMP.
	SMOKE DETECTOR - RATED FOR COMMERCIAL USE - INTERCONNECTED WITH ALL OTHER SMOKE, HEAT & CO DETECTORS
	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR - RATED FOR COMMERCIAL USE - INTERCONNECTED WITH ALL OTHER SMOKE, HEAT & CO DETECTORS
	HEAT DETECTOR - RATED FOR COMMERCIAL USE - INTERCONNECTED WITH ALL OTHER SMOKE, HEAT & CO DETECTORS
	EMERGENCY EXIT SIGN & LIGHTS - BATTERY BACK-UP & INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS PROVIDE DIRECTIONAL ARROW AS REQUIRED
	EMERGENCY EXIT SIGN - BATTERY BACK-UP & INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	EMERGENCY LIGHTS - BATTERY BACK-UP & INTERCONNECTED WITH ALL OTHER FIRE SAFETY SYSTEMS
	ELECTRICAL PANEL

NOTE: ELECTRICAL EQUIPMENT LEGEND MAY INCLUDE ITEMS NOT USED IN THIS PROJECT.



1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



2 CELLAR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- ELECTRICAL WORK TO COMPLY WITH ALL APPLICABLE CODES & REGULATIONS.
 - COVERPLATES TO BE WHITE.
 - WIRING FOR ALL ELECTRICAL FIXTURES ON THE 12' CEILING SHALL BE SURFACE MOUNTED & SHALL HAVE A NEAT FINISHED APPEARANCE. USE ARMORED CABLE OR OTHER CODE-COMPLIANT, PAINTABLE WIRING.
 - PROVIDE ELEC. SUPPLY AS REQUIRED TO ALL APPLIANCES & MECHANICAL UNITS INCLUDING RANGE, BROILER, GRILL, FRYERS, FREEZER, SANDWICH UNIT, FOOD WARMER, ICE MACHINE, CASH REGISTERS, AIR CURRENT UNIT OVER FRONT DOOR, HOT WATER HEATER & HVAC UNIT.
 - PROVIDE LIGHTS, SWITCH & OUTLETS IN ATTIC AS REQUIRED.
 - OWNER'S ALARM CONTRACTOR SHALL PROVIDE ALL SYSTEM DOCUMENTATION, ELEMENTS & WIRING AS REQUIRED.

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